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- KEY
- 4,306 Ha /10.64 Acres Site Area
  - Rooflights - position/number shown illustratively only
  - PV roof panels - position on number shown illustrative only; refer to Energy statement for more information

P03	Highways Comments and Landscape amendment	SJL	SD	08.11.24
P02	PLANNING ISSUE - Scheme Amendments	LT	SD	07.06.24
P01	PLANNING ISSUE	CS	LT	26.04.24
Rev	Amendments	By	Chkd	Date



Document Status  
**Preliminary**

Client Name  
Sopers Lane Development LLP

Project Name  
Sopers Lane, Poole

Scale  
A1 - As indicated

HNW Project No.  
23023

Date Created  
April 2024

Document Title  
Proposed Site Roof Plan

Document Reference  
23023-HNW-ZZ-RF-DR-A-2140

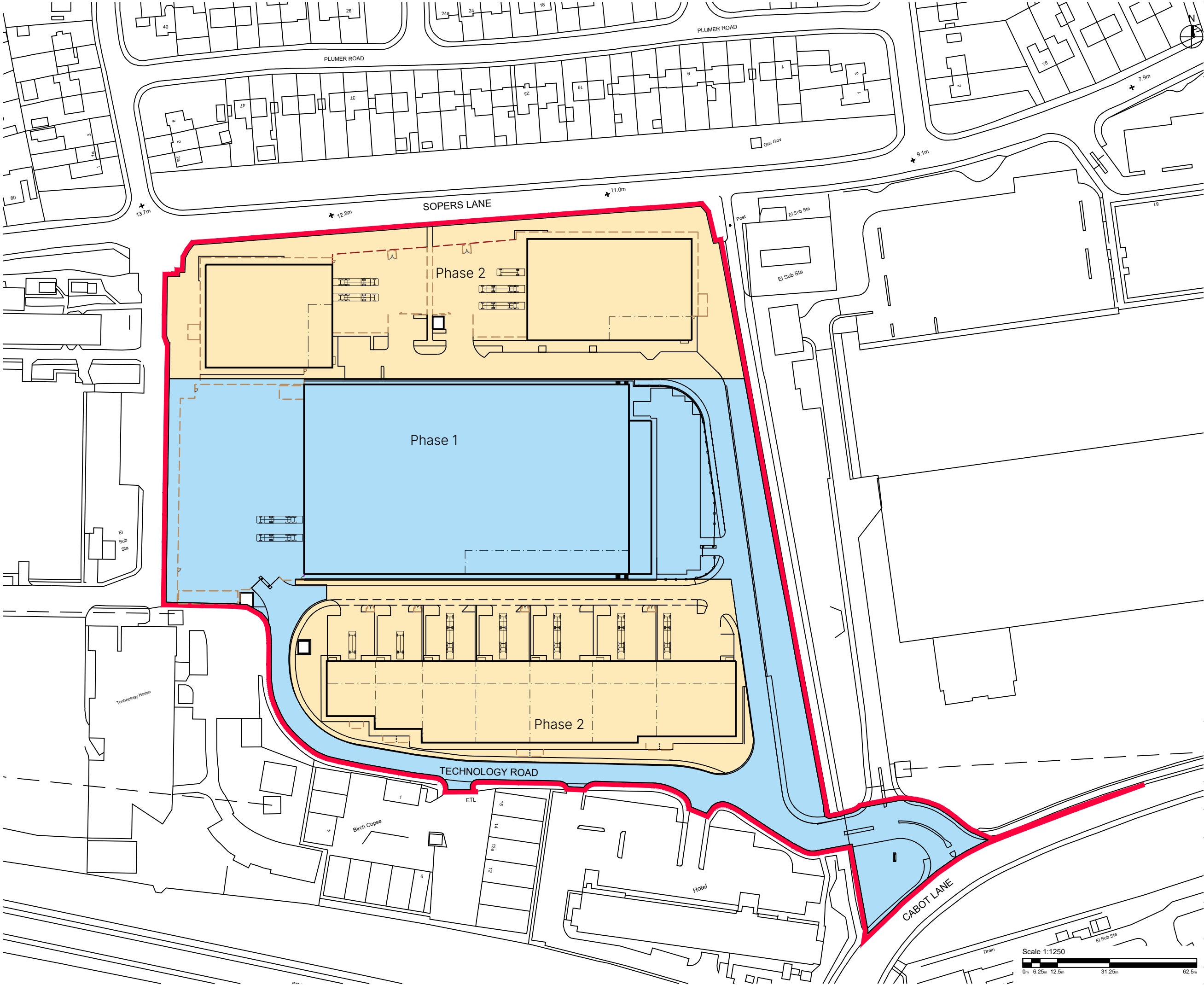
Revision  
P03

Chichester Brighton & Hove

61 North Street, Chichester, PO19 1NB  
Plaffirm, Church Road, Hove, BN3 2AF

01243 533300  
01273 932485





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- Key**
- Proposed Application Boundary
  - Phase 1
  - Phase 2

P02	Transposed to Proposed Site Plan	SJL	SD	29/11/24
P01	First Issue	SJL	SD	29/11/24
Rev	Amendments	By	Chkd	Date



Document Status  
**Preliminary**

Client Name  
Sopers Lane Development LLP

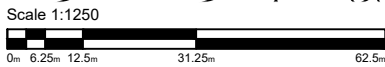
Project Name  
Sopers Lane, Poole  
Industrial Development

Scale	HNW Project No.	Date Created
A3-1250	23023	NOV 24

Document Title  
Phase Block Plan

Document Reference	Revision
23023-HNW-ZZ-ZZ-DR-A-1005	P02

Chichester	61 North Street, Chichester, PO19 1NB	01243 533300
Brighton & Hove	Platt9rm, Church Road, Hove, BN3 2AF	01273 932485







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**Note:**  
Setting Out is based on survey drawing by: Greenhatch  
Ref: LF4646\_LAP\_XX\_ST\_DR\_G\_1001\_S2\_REV3-GH  
Dated: 08/12/23

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**Key**

- 4.306 ha / 10.64 Acres Site Area
- Indicative retaining structure to have guarding hand rails affixed to the top of wall
- Overhead cable wire and assumed 10m no-build zone - TBC
- Access road to be asphalt
- Concrete external yards
- Permeable block paving
- Tarmac path
- Concrete maintenance path to rear of units
- New grasscrete pedestrian access to Landscape Architects detail and design
- Block paving entrances
- Proposed trees refer to Landscape Architects details and design
- Proposed soft landscape refer to Landscape Architects details and design
- Existing retained trees refer to Landscape Architects details and design
- 2.4m Weldmesh fence
- 3m Acoustic timber fence
- Knee rail fence
- EV Active Electric vehicle Parking Space
- Accessible Parking Space

**Rev**   **Amendments**   **By**   **Chkd**   **Date**

**Document Status**  
**Preliminary**

**Client Name**  
Sopers Lane Development LLP

**Project Name**  
Sopers Lane, Poole  
Industrial Development

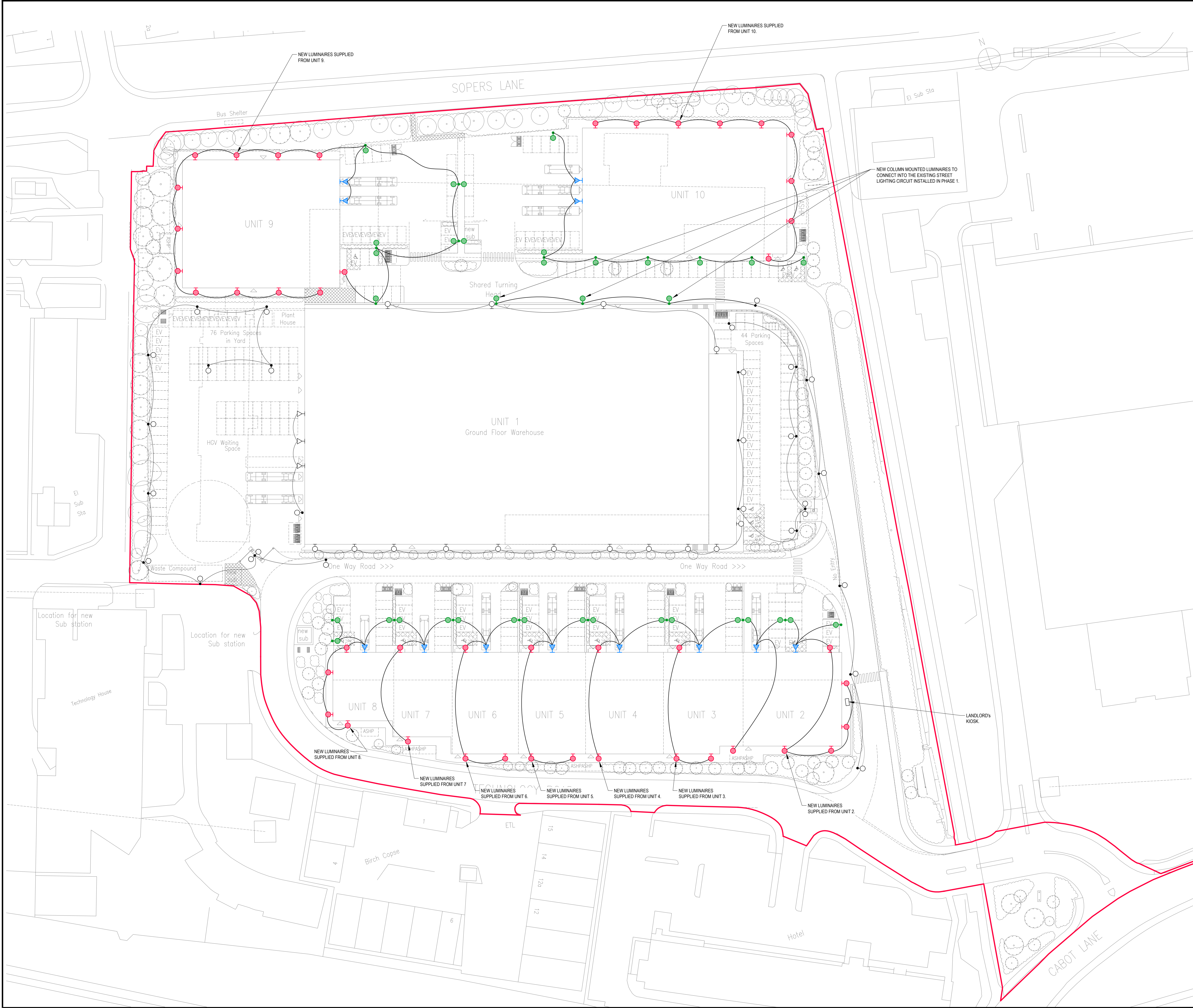
**Scale**   **HNW Project No.**   **Date Created**  
A1-500   23023   JAN 24

**Document Title**  
Proposed Site Plan

**Document Reference**   **Revision**  
23023-HNW-ZZ-ZZ-DR-A-2132   P12

**Chichester**   61 North Street, Chichester, PO19 1NB   01243 533300  
**Brighton & Hove**   Platform, Church Road, Hove, BN3 2AF   01273 932485





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### NOTES

- THIS DRAWING SHALL BE READ IN CONJUNCTION WITH THE ION CONSULTING ENGINEERS SPECIFICATION FOR THE ELECTRICAL SERVICES INSTALLATION.

### LEGEND

- SITE BOUNDARY.
- COLUMN MOUNTED SINGLE LUMINAIRE.
- COLUMN MOUNTED TWIN LUMINAIRE.
- BUILDING MOUNTED LUMINAIRE.
- BUILDING MOUNTED FLOODLIGHT.

P2 | 10.07.2024 | RIBA PHASE 2 - PRELIMINARY ISSUE | DG1 TK

P1 | 02.05.2024 | RIBA PHASE 2 - PRELIMINARY ISSUE | DG1 TK

REV	DATE	DESCRIPTION	DRN	CHK
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CLIENT:

SOPERS LANE DEVELOPMENT LLP

PROJECT:

SOPERS LANE, POOLE,  
INDUSTRIAL DEVELOPMENT

TITLE:

PHASE 2  
PROPOSED EXTERNAL LIGHTING

STATUS: **PRELIMINARY** | SCALE: 1:500

**Building Services  
Consulting Engineers**

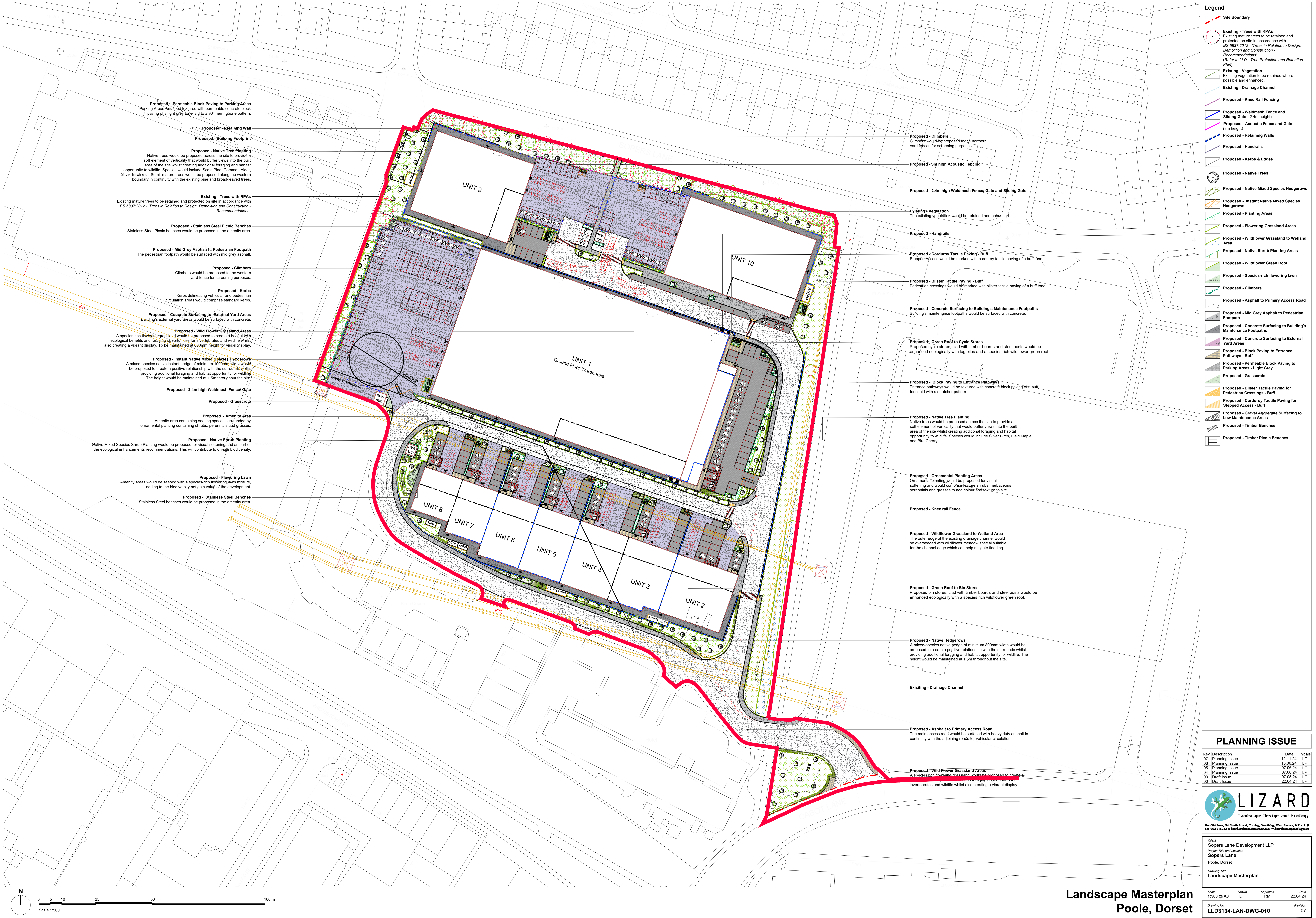
ION Consulting Engineers Ltd  
Hill Barn, Grosvenor Court, Ampfield Hill,  
Ampfield, Romsey, Hampshire, SO51 9BD  
T: 01794 368693  
F: 01794 368484  
E: admin@ion-consulting.co.uk



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DWG No: 23032-ION-XX-XX-DR-E-1006 | REV: P2





- Legend**
- Site Boundary
  - Existing - Trees with RPAs  
Existing mature trees to be retained and protected on site in accordance with BS 5837:2012 - 'Trees in Relation to Design, Demolition and Construction - Recommendations' (Refer to LLD - Tree Protection and Retention Plan)
  - Existing - Vegetation  
Existing vegetation to be retained where possible and enhanced.
  - Existing - Drainage Channel
  - Proposed - Knee Rail Fencing
  - Proposed - Weldmesh Fence and Sliding Gate (2.4m height)
  - Proposed - Acoustic Fence and Gate (3m height)
  - Proposed - Retaining Walls
  - Proposed - Handrails
  - Proposed - Kerbs & Edges
  - Proposed - Native Trees
  - Proposed - Native Mixed Species Hedgerows
  - Proposed - Instant Native Mixed Species Hedgerows
  - Proposed - Planting Areas
  - Proposed - Flowering Grassland Areas
  - Proposed - Wildflower Grassland to Wetland Area
  - Proposed - Native Shrub Planting Areas
  - Proposed - Wildflower Green Roof
  - Proposed - Species-rich flowering lawn
  - Proposed - Climbers
  - Proposed - Asphalt to Primary Access Road
  - Proposed - Mid Grey Asphalt to Pedestrian Footpath
  - Proposed - Concrete Surfacing to Building's Maintenance Footpaths
  - Proposed - Concrete Surfacing to Building's Maintenance Footpaths
  - Proposed - Concrete Surfacing to External Yard Areas
  - Proposed - Block Paving to Entrance Pathways - Buff
  - Proposed - Permeable Block Paving to Parking Areas - Light Grey
  - Proposed - Grasscrete
  - Proposed - Blister Tactile Paving for Pedestrian Crossings - Buff
  - Proposed - Corduroy Tactile Paving for Stepped Access - Buff
  - Proposed - Gravel Aggregate Surfacing to Low Maintenance Areas
  - Proposed - Timber Benches
  - Proposed - Timber Picnic Benches

## PLANNING ISSUE

Rev	Description	Date	Initials
07	Planning Issue	12.11.24	L.F.
06	Planning Issue	13.06.24	L.F.
05	Planning Issue	07.06.24	L.F.
04	Planning Issue	07.06.24	L.F.
03	Draft Issue	07.05.24	L.F.
02	Draft Issue	22.04.24	L.F.

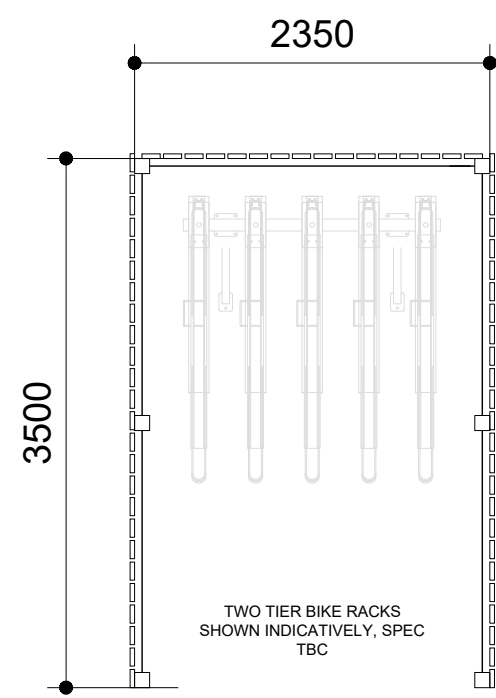


Client  
Sopers Lane Development LLP  
Project Title and Location  
**Sopers Lane**  
Poole, Dorset

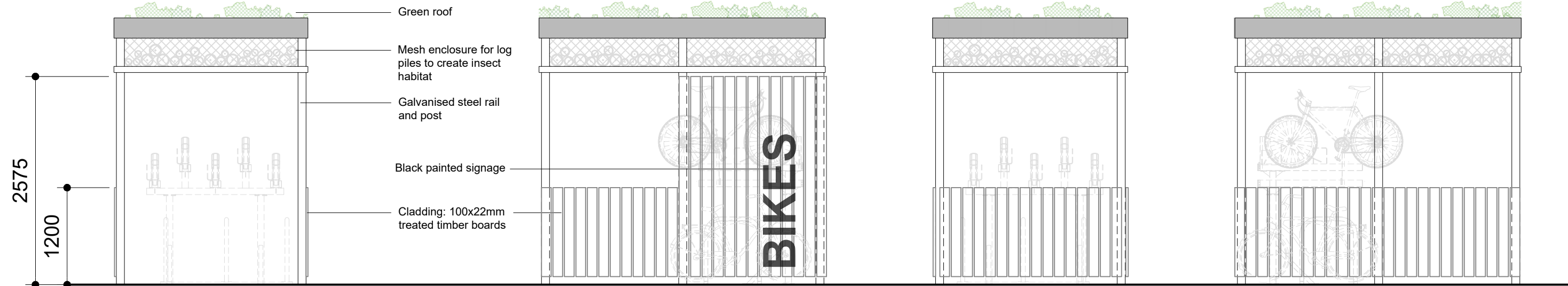
Drawing Title  
**Landscape Masterplan**

Scale	Drawn	Approved	Date
1:500 @ A0	LF	RM	22.04.24
Drawing No.	Revision		
LLD3134-LAN-DWG-010	07		

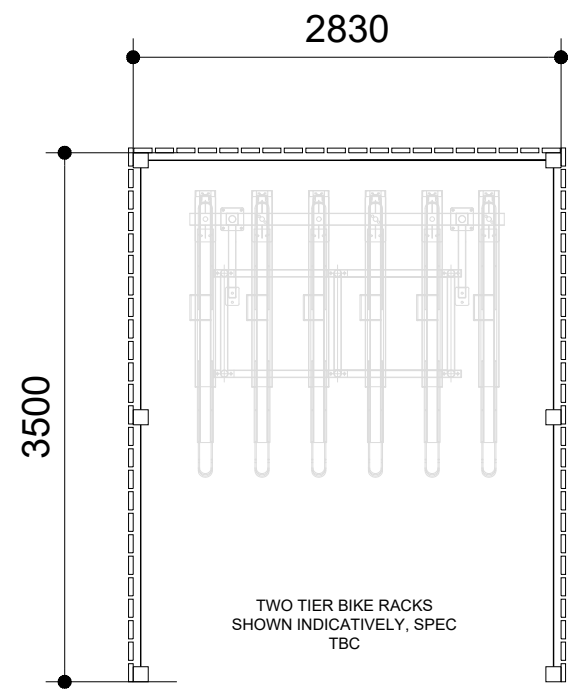




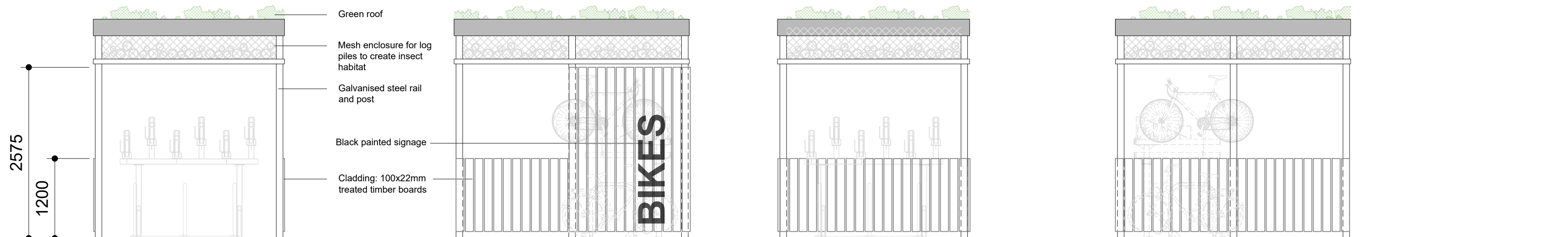
Typical Bike Store - Unit 2  
10no. Spaces  
Two-Tier Bike Rack



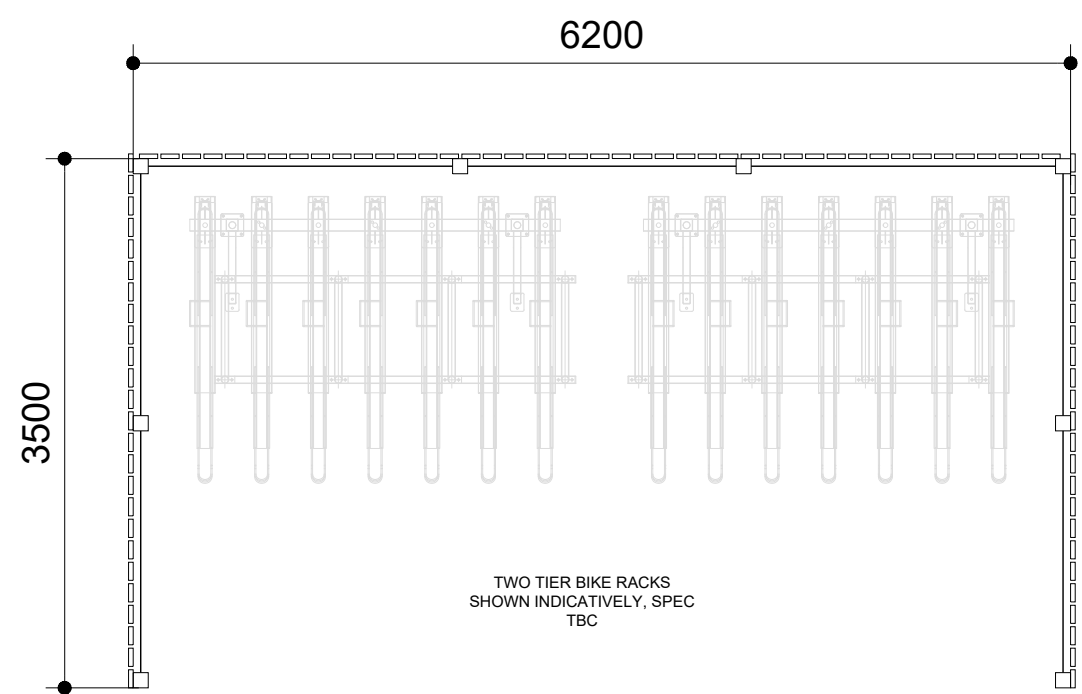
Front Elevation Side Elevation Rear Elevation Side Elevation



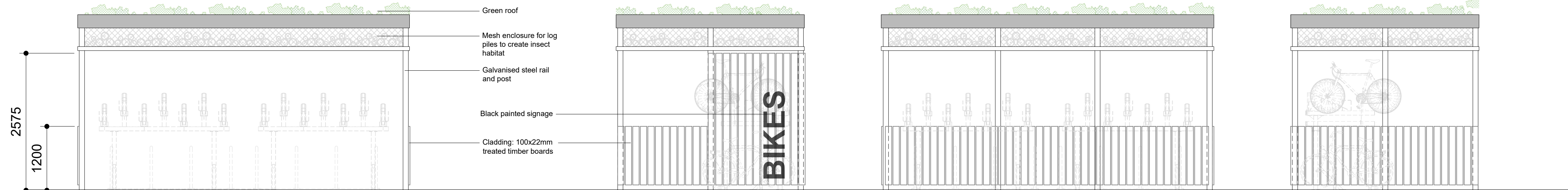
Typical Shared Bike Store -  
Units 3-8  
12no. Spaces (6no. spaces per unit)  
Two-Tier Bike Rack



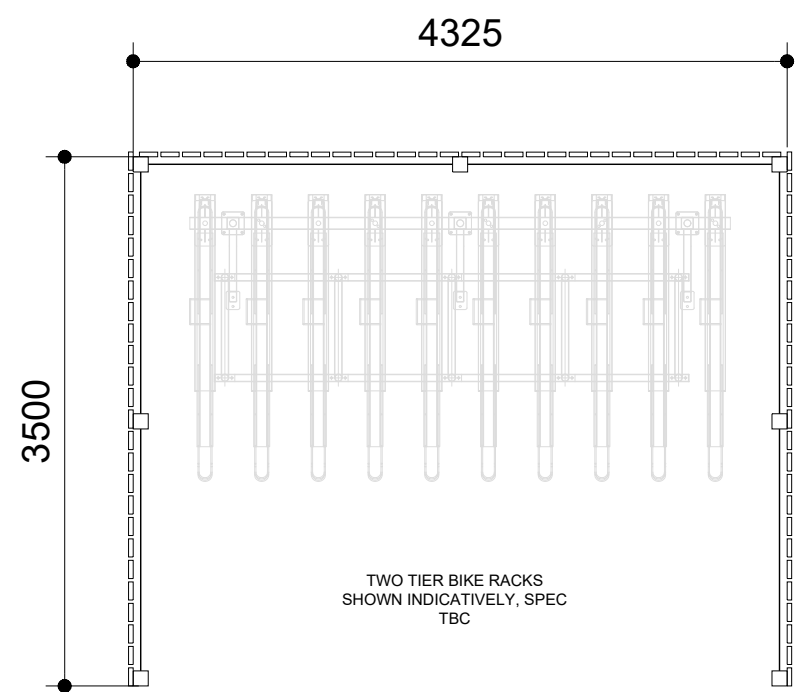
Front Elevation Side Elevation Rear Elevation Side Elevation



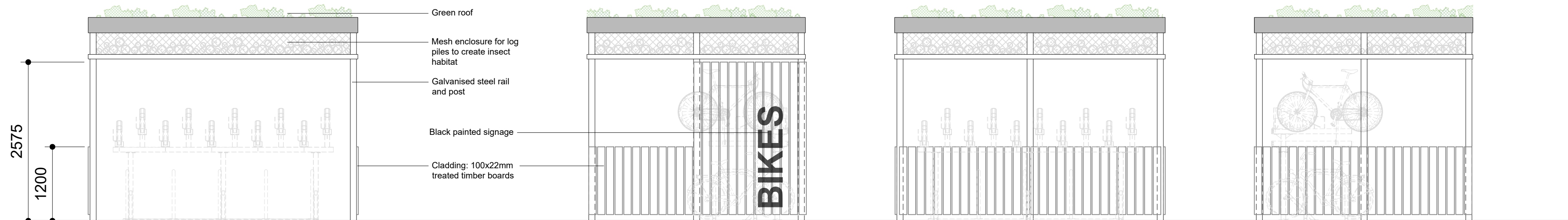
Typical Bike Store - Unit 1  
28no. Spaces  
Two-Tier Bike Rack



Front Elevation Side Elevation Rear Elevation Side Elevation



Typical Bike Store - Units 1, 9 & 10  
20no. Spaces  
Two-Tier Bike Rack



Front Elevation Side Elevation Rear Elevation Side Elevation



Precedent Image

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Scale 1:50  
0m 500mm 1m 2.5m 5m

P02	PLANNING ISSUE - Scheme amendments	LT	SD	07.06.24
P01	PLANNING ISSUE	CS	LT	26.04.24
Rev	Amendments	By	Chkd	Date



Document Status  
**Preliminary**

Client Name  
Sopers Lane Development LLP

Project Name  
Sopers Lane, Poole

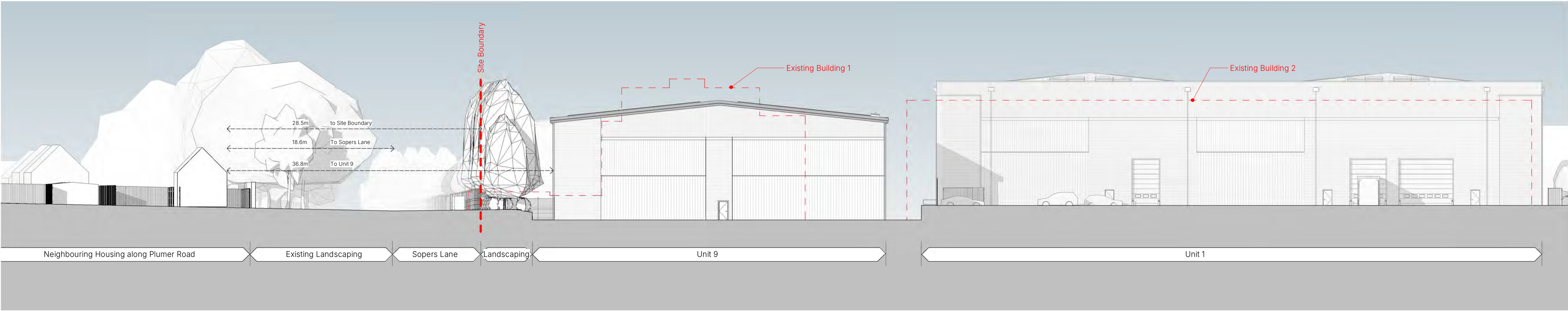
Scale	HNW Project No.	Date Created
A1-1:50	23023	March 2024

Document Title  
Bicycle Stores  
Proposed Floor Plans and Elevations

Document Reference	Revision
230230-HNW-ZZ-ZZ-DR-A-7901	P02

Chichester Brighton & Hove	61 North Street, Chichester, PO19 1NB Plattf9rm, Church Road, Hove, BN3 2AF	01243 533300 01273 932485
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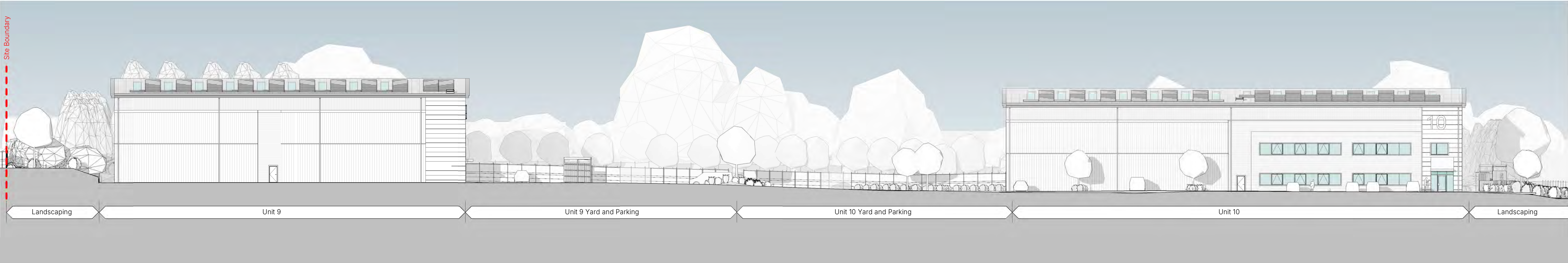


Site Section A  
1 : 250

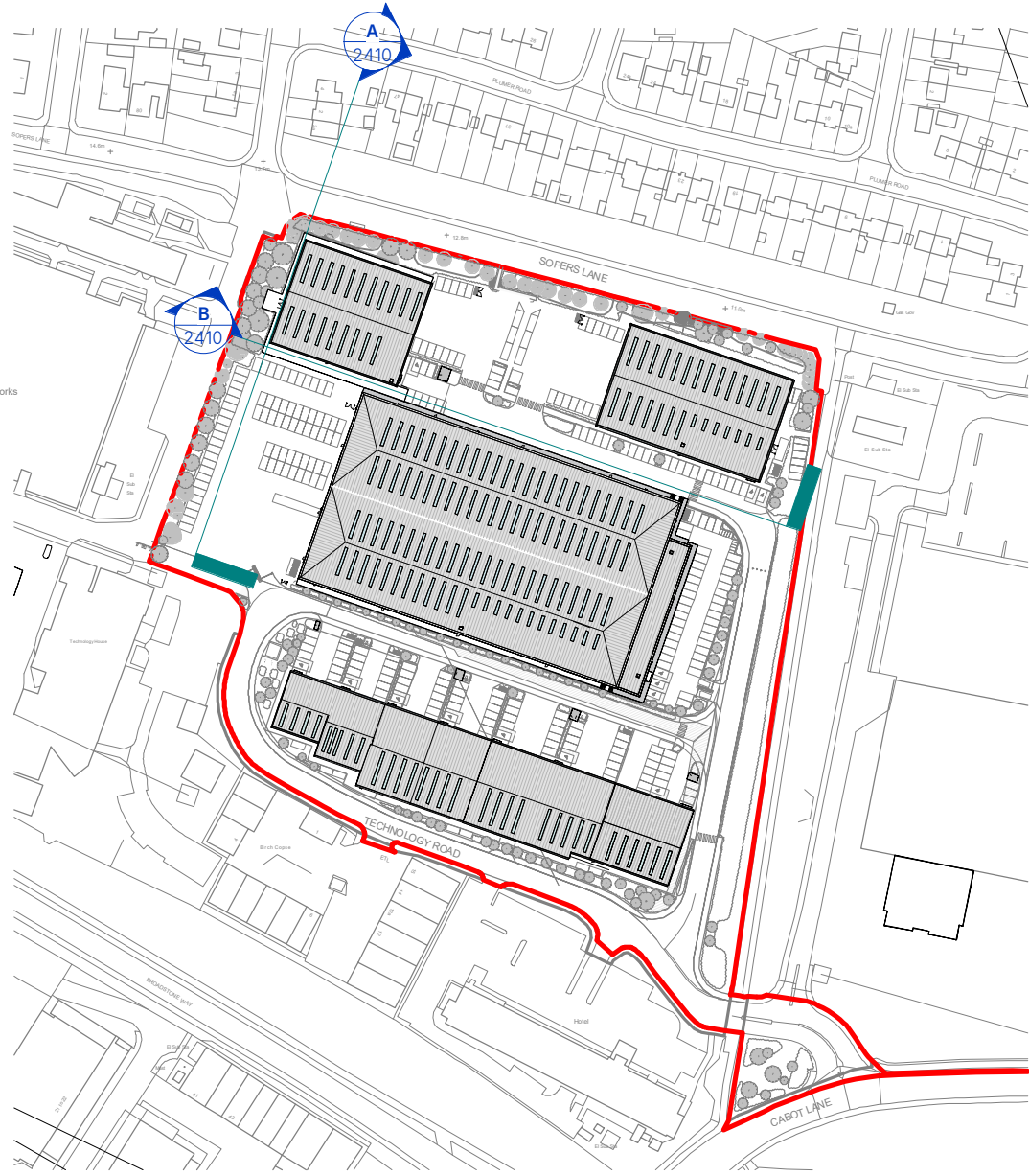
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Site Section B  
1 : 250



Site Plan Key  
1 : 2500

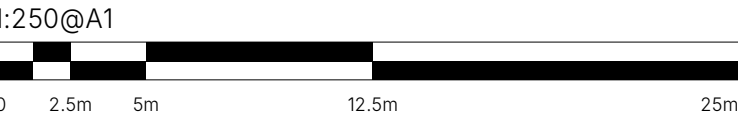
P02	PLANNING ISSUE - Scheme Amendments	LT	SD	07.06.24
P01	PLANNING ISSUE	CS	LT	26.04.24
Rev	Amendments	By	Chkd	Date
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Document Status				
Planning				
Client Name				
Sopers Lane Development LLP				
Project Name				
Sopers Lane, Poole				
Scale				
A1 - As indicated		HNW Project No.		Date Created
		23023		Apr 2024
Document Title				
Site Sections A and B				
Document Reference				Revision
23023-HNW-ZZ-ZZ-DR-A-2410				P02
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Site Plan Key  
1 : 2500



Section C  
1 : 250



Section D  
1 : 250



Section E  
1 : 250

P02	PLANNING ISSUE - Scheme Amendments	LT	SD	07.06.24
P01	PLANNING ISSUE	CS	LT	26.04.24
Rev	Amendments	By	Chkd	Date



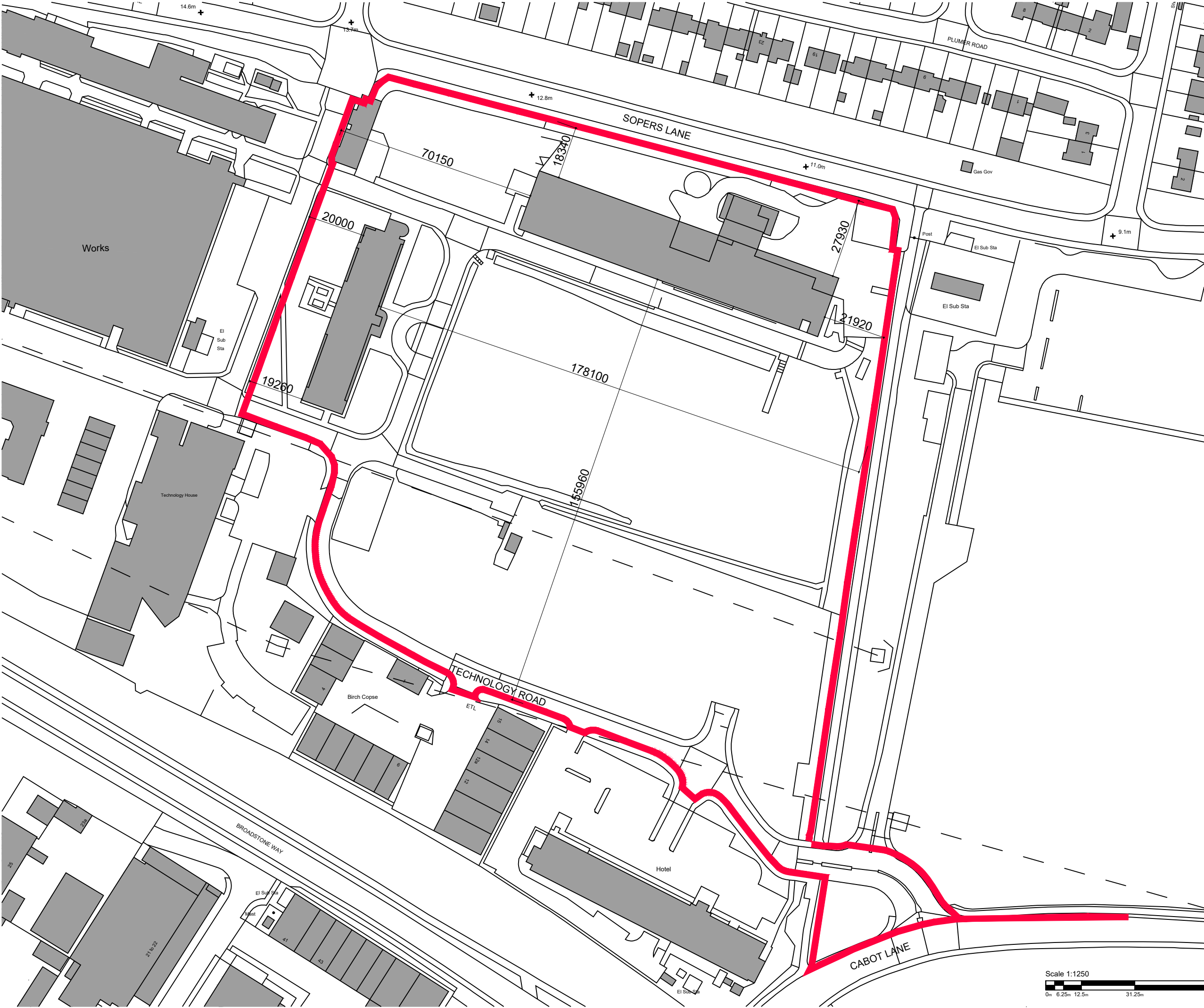
Document Status
Planning
Client Name
Sopers Lane Development LLP
Project Name
Sopers Lane, Poole

Scale	HNW Project No.	Date Created
A1 - As indicated	23023	Apr 2024

Document Title
Site Sections C, D & E

Document Reference		Revision
23023-HNW-ZZ-ZZ-DR-A-2411		P02
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**Key**  
Proposed Application Boundary

P03	PLANNING ISSUE - Scheme amendments	LT	SD	07/06/24
P02	PLANNING ISSUE	CS	LT	26/04/24
P01	First Issue	LT	SD	30/01/24
Rev	Amendments	By	Chkd	Date



Document Status  
**Preliminary**

Client Name  
Sopers Lane Development LLP

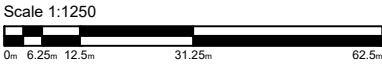
Project Name  
Sopers Lane, Poole  
Industrial Development

Scale	HNW Project No.	Date Created
A3-1250	23023	JAN 24

Document Title  
Existing Block Plan

Document Reference	Revision
23023-HNW-ZZ-DR-A-1001	P03

Chichester	61 North Street, Chichester, PO19 1NB	01243 533300
Brighton & Hove	Plattf9rm, Church Road, Hove, BN3 2AF	01273 932485

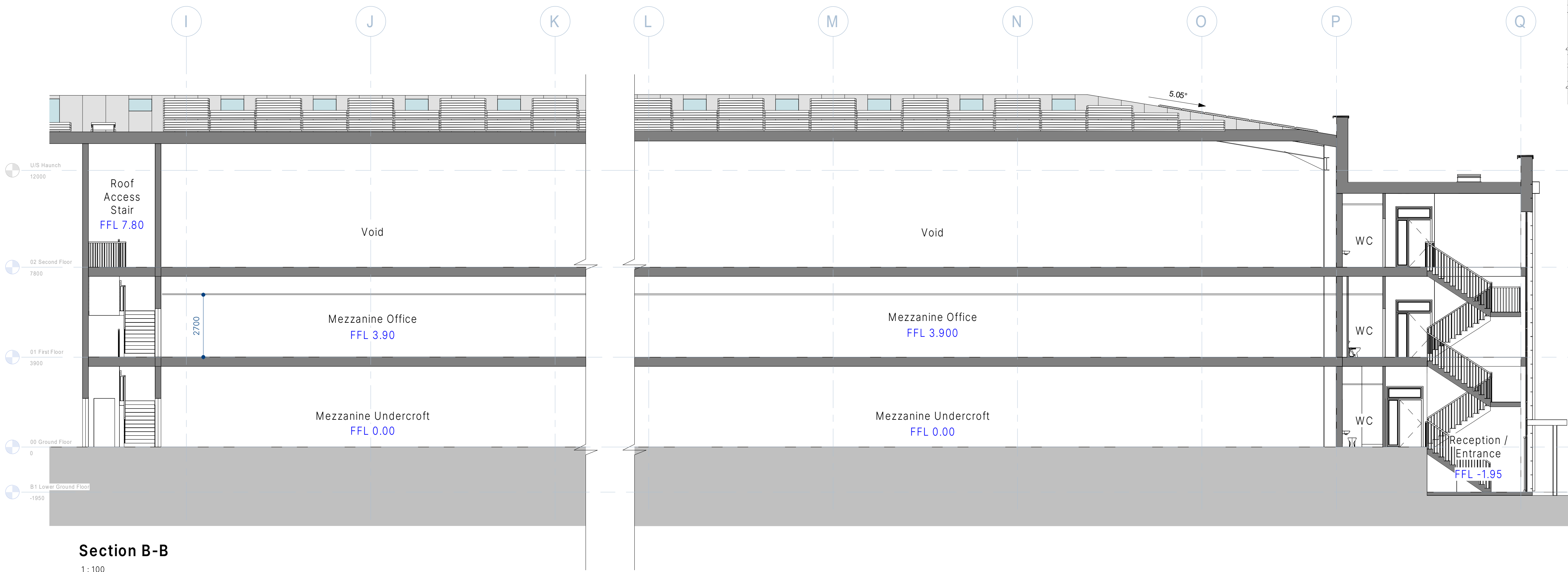
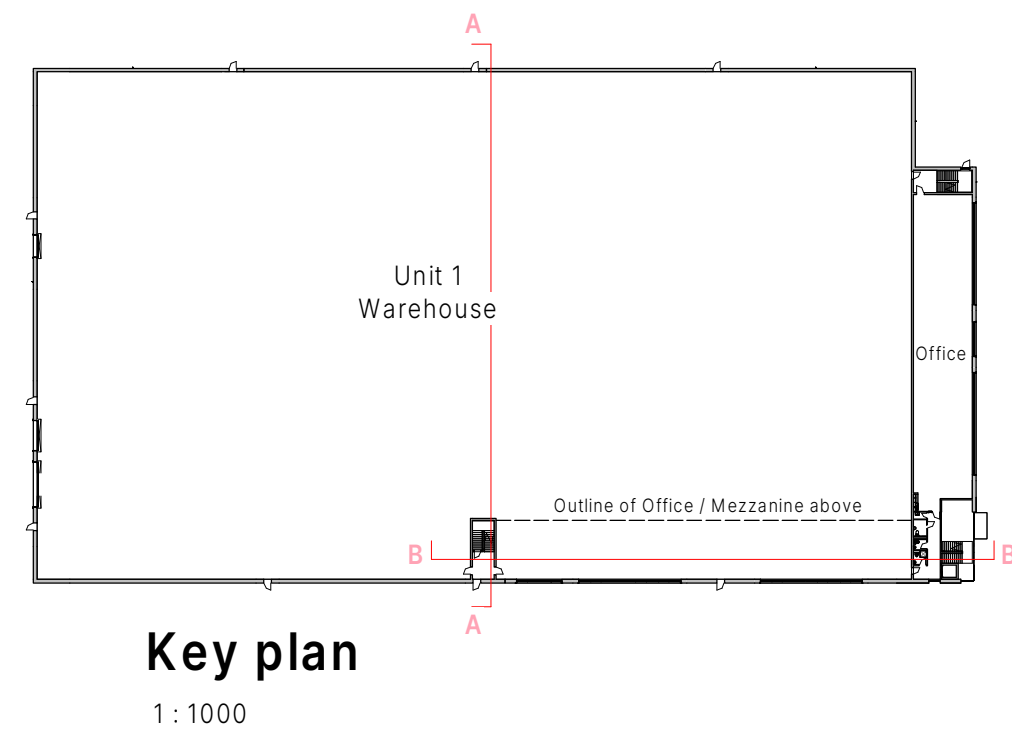
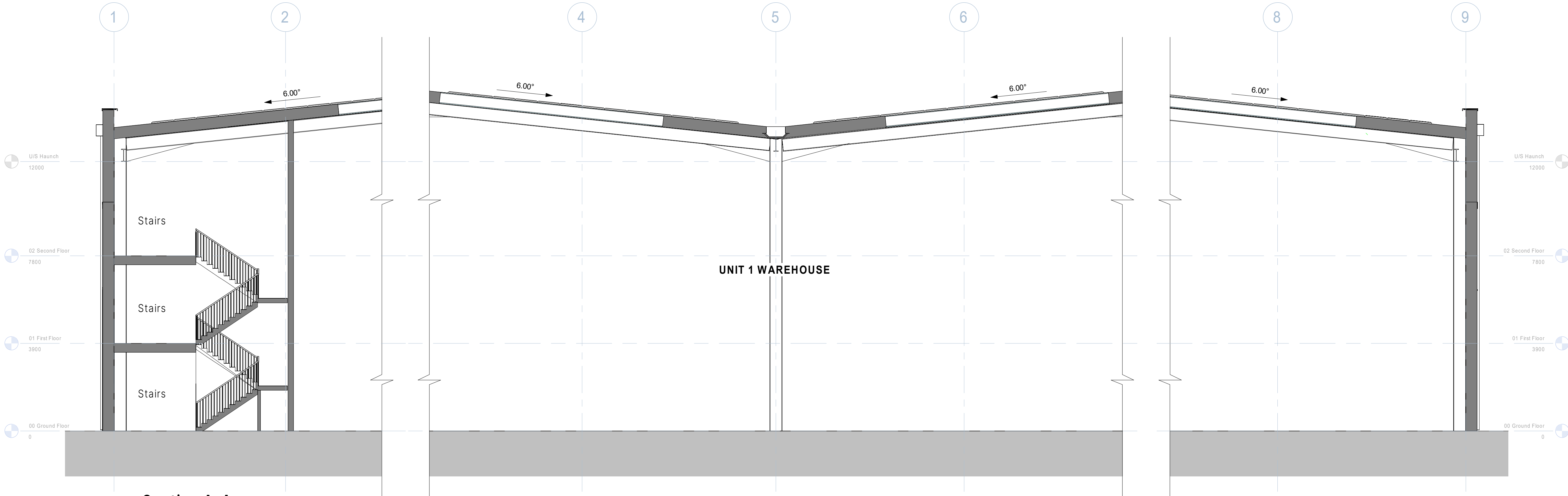
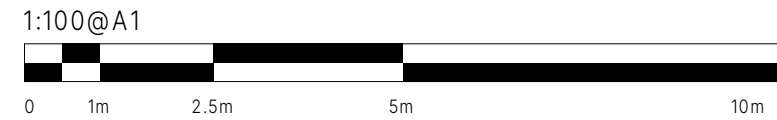




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P03	TV Issue	TJ	LT	05/05/2024
P02	PLANNING ISSUE	TJ	LT	26/04/2024
P01	First Issue	LT	SD	26/03/2024
Rev	Amendments	By	Chkd	Date



Document Status  
**Planning**

Client Name  
Sopers Lane Development LLP

Project Name  
Sopers Lane, Poole

Scale  
A1 - As indicated

HNW Project No.  
23023

Date Created  
Apr 2024

Document Title  
Unit 1 - Proposed Sections

Document Reference  
23023-HNW-U1-ZZ-DR-A-2400

Revision  
P03

Chichester  
Brighton & Hove

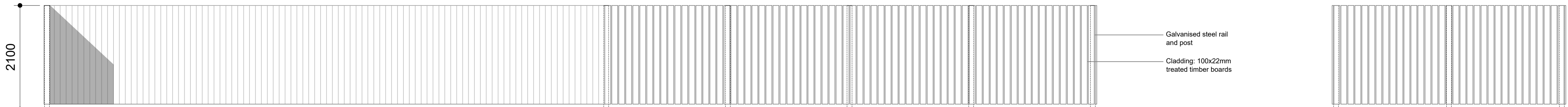
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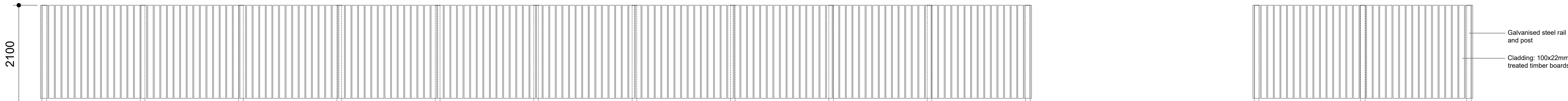


Unit 1  
Waste Compound



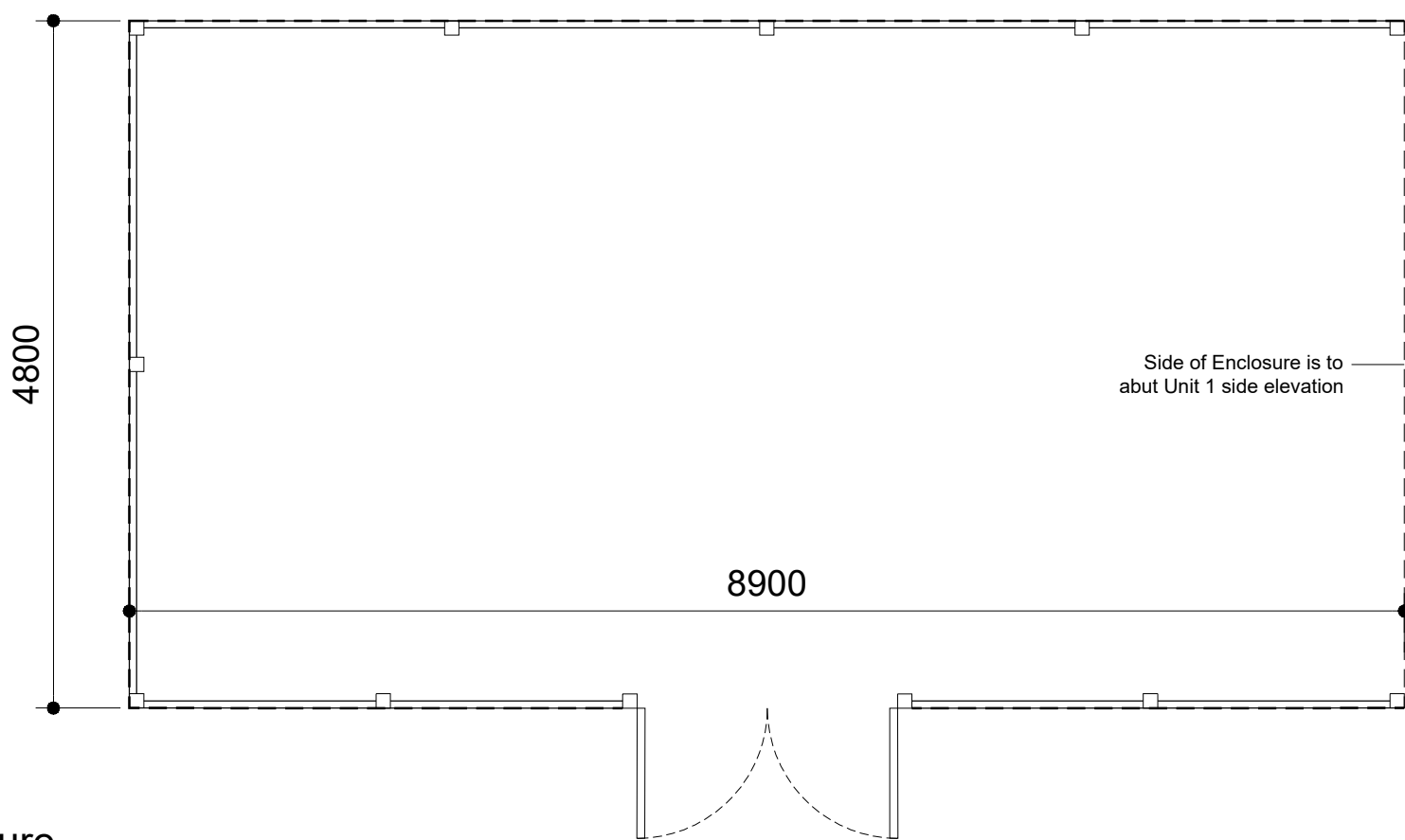
Front Elevation

Side Elevation

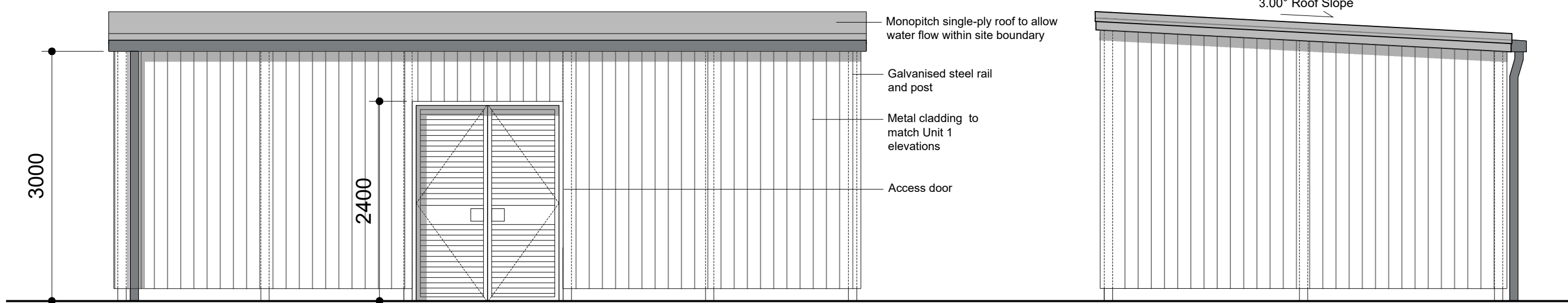


Rear Elevation

Side Elevation

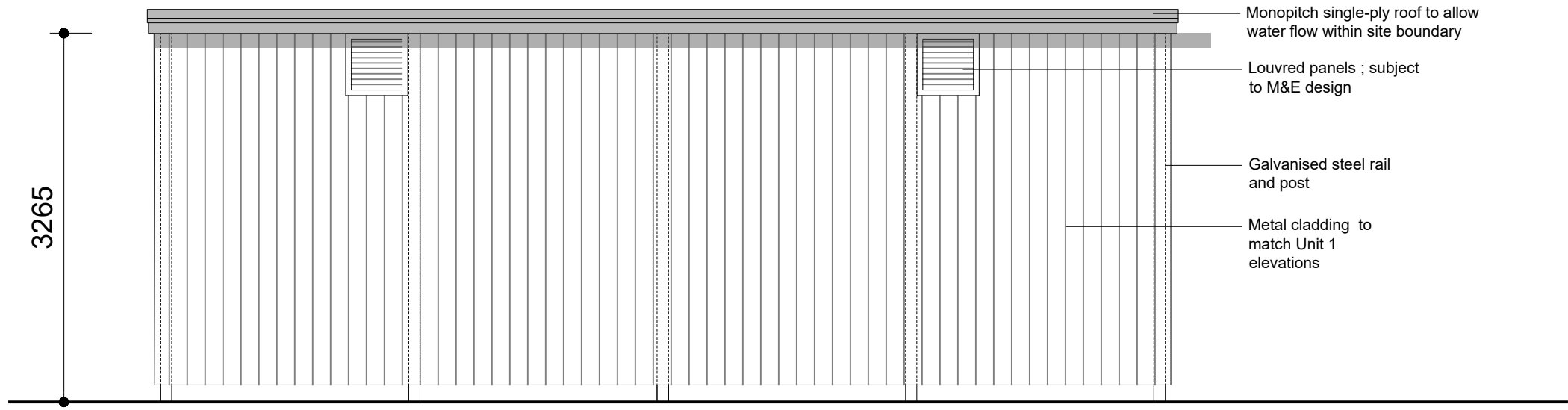


Unit 1  
Plant Enclosure

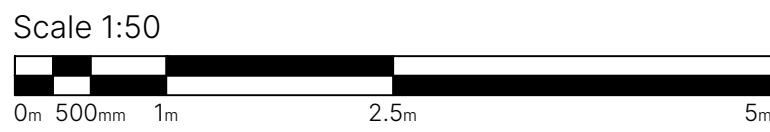


Front Elevation

Side Elevation



Rear Elevation



**Note: Coordination**  
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P04	PLANNING ISSUE - Waste compound updated	LT	SD	24.06.24
P03	PLANNING ISSUE - Waste compound updated	CS	LT	11.06.24
P02	PLANNING ISSUE - Scheme amendments	CS	LT	07.06.24
P01	First Issue	CS	LT	26.04.24

Rev	Amendments	By	Chkd	Date
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Document Status  
**Preliminary**

Client Name  
Sopers Lane Development LLP

Project Name  
Sopers Lane, Poole

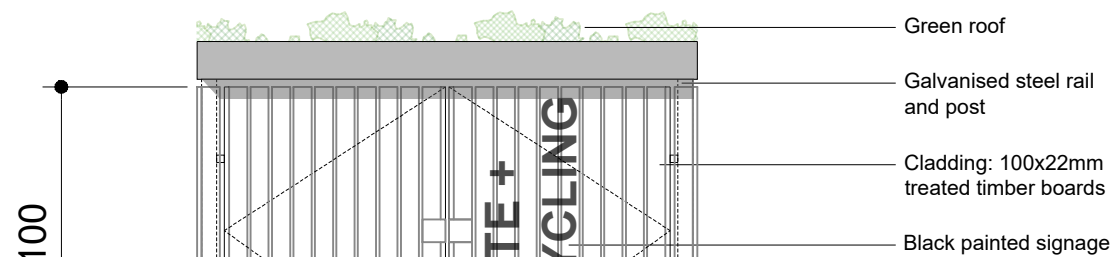
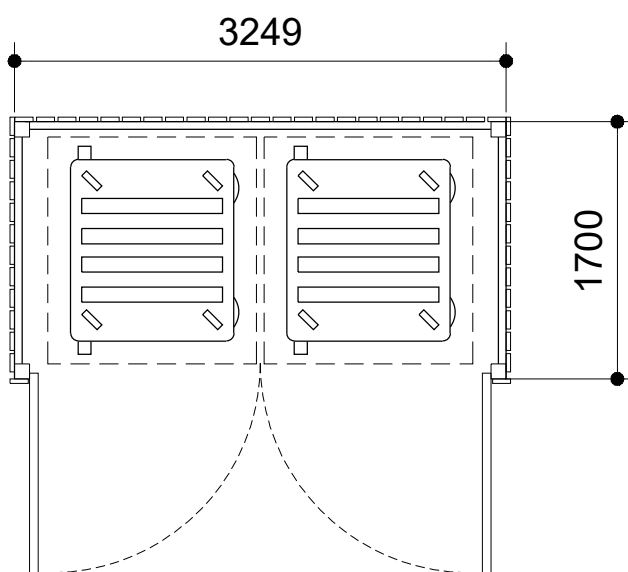
Scale	HNW Project No.	Date Created
A1-1:50	23023	March 2024

Document Title  
Bin Stores, Waste Compound & Plant Enclosure  
Proposed Floor Plans and Elevations

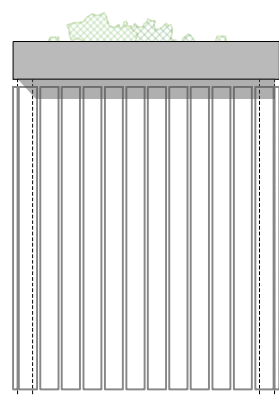
Document Reference	Revision
230230-HNW-ZZ-ZZ-DR-A-7900	P04

Chichester Brighton & Hove	61 North Street, Chichester, PO19 1NB Plattf9rm, Church Road, Hove, BN3 2AF	01243 533300 01273 932485
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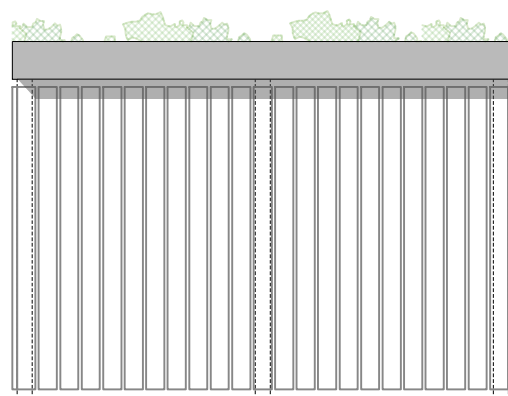
Typical Bin Store  
For Units 2-10  
Waste  
2 x 1100L



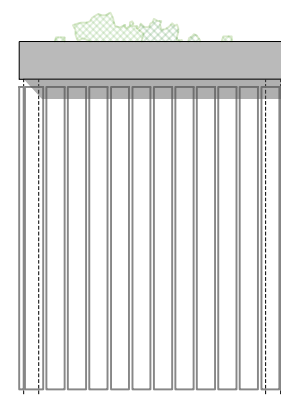
Front Elevation



Side Elevation

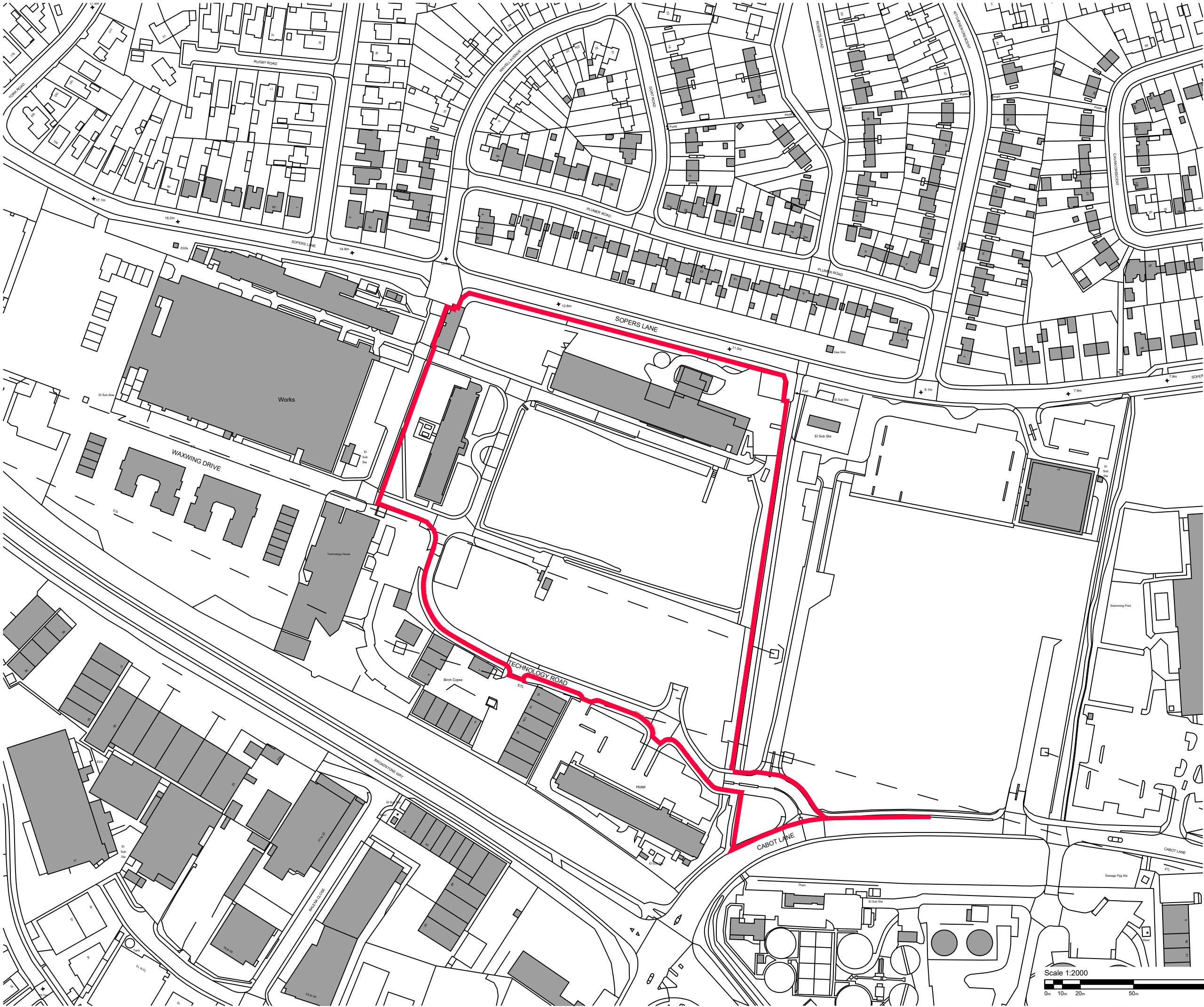


Rear Elevation



Side Elevation





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**Key**  
Proposed Application Boundary

P04	PLANNING ISSUE - Scheme amendments	LT	SD	04/06/24
P03	Boundary updated	CS	LT	01/05/24
P02	PLANNING ISSUE	CS	LT	26/04/24
P01	First Issue	LT	SD	30/01/24
Rev	Amendments	By	Chkd	Date



**Document Status**  
**Preliminary**

**Client Name**  
Sopers Lane Development LLP

**Project Name**  
Sopers Lane, Poole, BH17 7ER  
Industrial Development

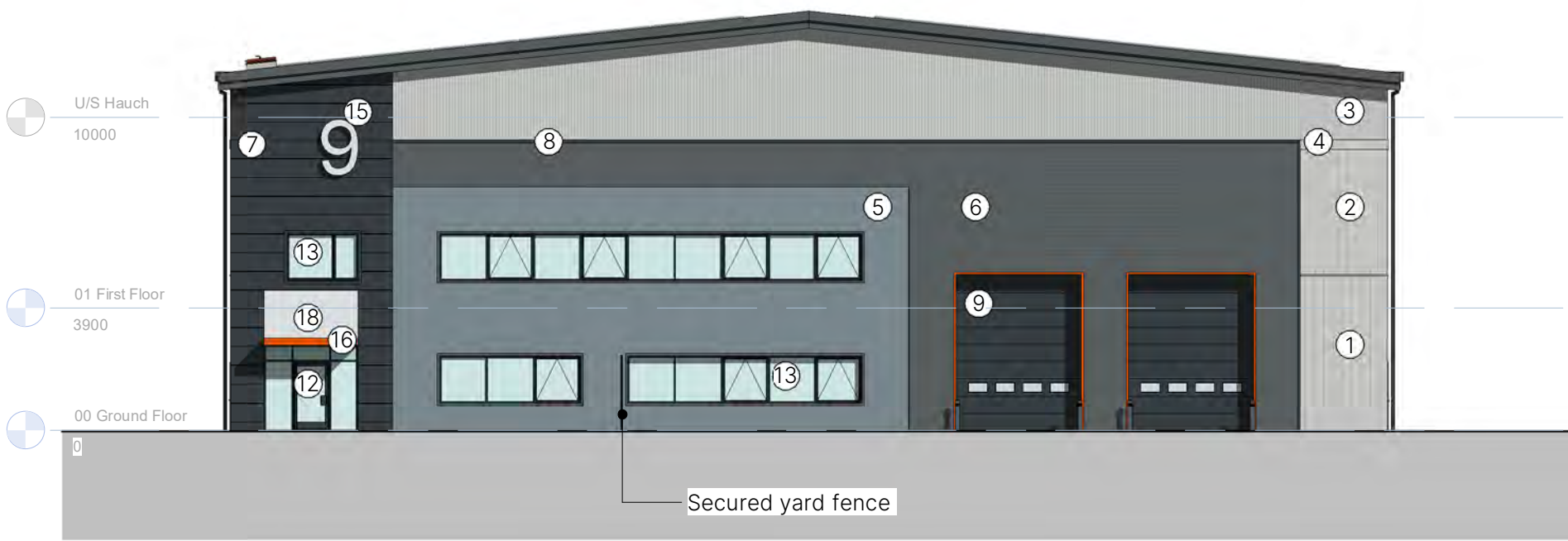
<b>Scale</b>	<b>HNW Project No.</b>	<b>Date Created</b>
A3-2000	23023	JAN 24

**Document Title**  
Location Plan

<b>Document Reference</b>	<b>Revision</b>
23023-HNW-ZZ-DR-A-1000	P04

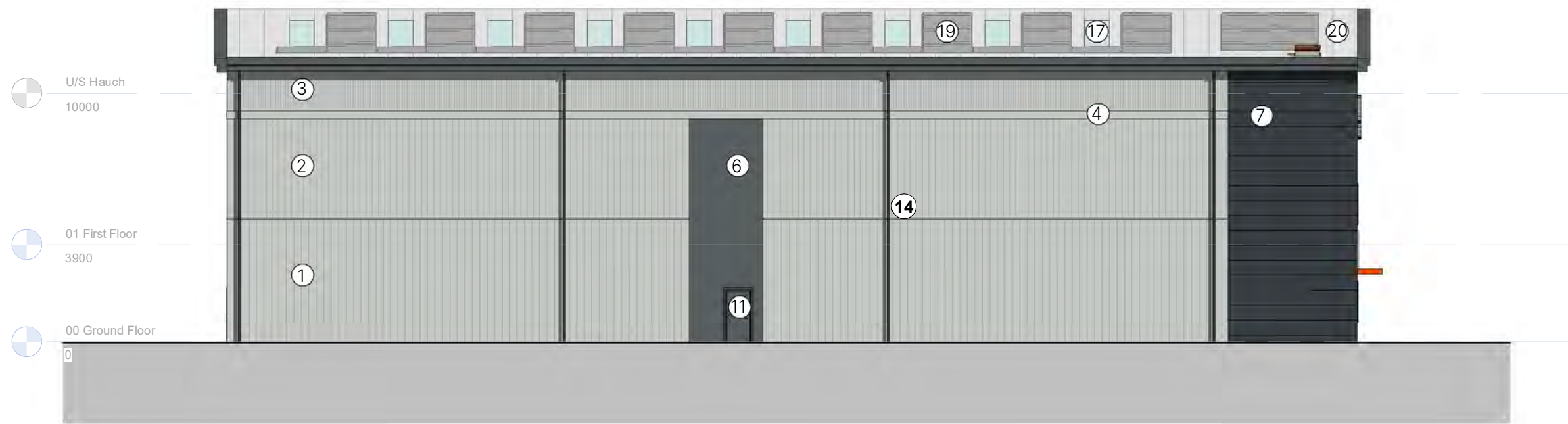
<b>Chichester</b>	61 North Street, Chichester, PO19 1NB	01243 533300
<b>Brighton &amp; Hove</b>	Platt9rm, Church Road, Hove, BN3 2AF	01273 932485





East Elevation

1 : 200



South Elevation

1 : 200



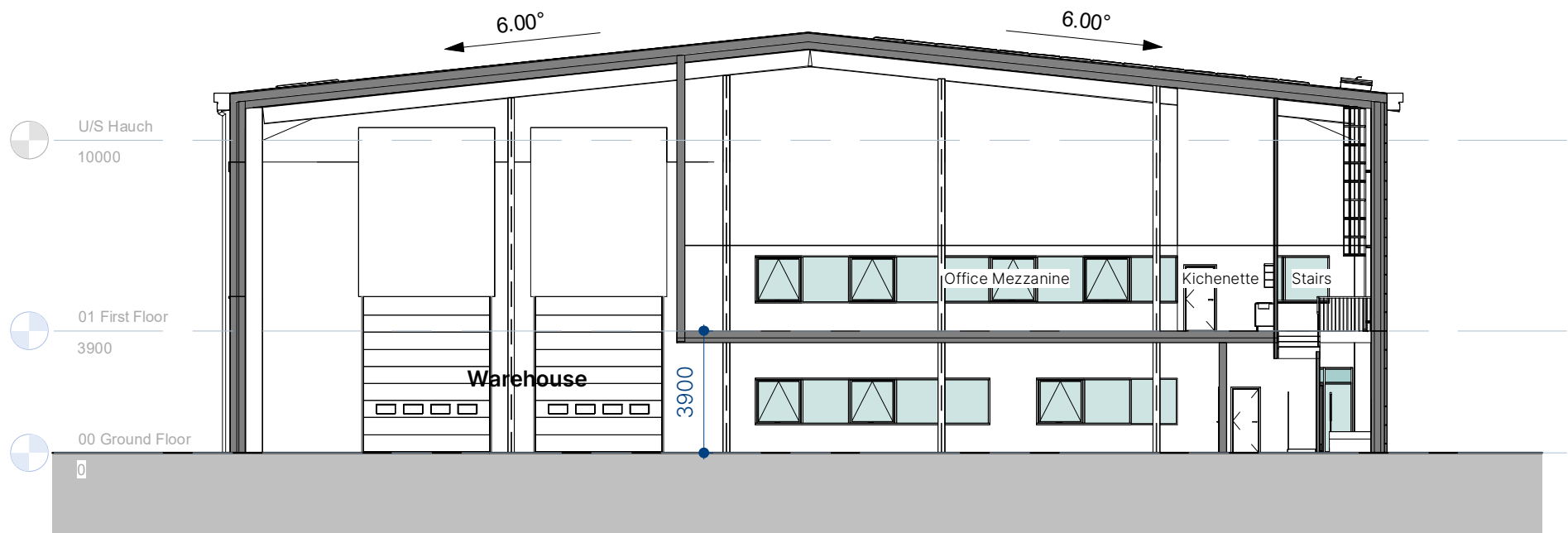
West Elevation

1 : 200



North Elevation

1 : 200



A-A Section A-A

1 : 200

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**Note: Coordination**

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Scale Bar 1:200@A1

**Materials Schedule**

1	Vertical Sawtooth Cladding Profile	RAL 7035
2	Vertical Curved Cladding Profile	RAL 7035
3	Vertical Trapezoid Cladding Profile	RAL 7035
4	Feature Banding Profile	RAL 7035
5	Horizontal Curved Cladding Profile	RAL 7000
6	Horizontal Curved Cladding Profile	RAL 7012
7	Entrance rainscreen Cladding	RAL 7016
8	Feature Flashing and Fixings	RAL 7016
9	Loading Doors	RAL 7012
10	Bollards	RAL 7012
11	Personnel Doors	RAL 7012
12	PPC Aluminium Curtain Wall	RAL 7016
13	PPC Aluminium windows	RAL 7016
14	PPC Metal Hopper & Downpipes	RAL 7016
15	Unit Number - White	
16	Entrance Canopy & Feature Profiles	RAL 2004
17	Rooflights	
18	Unit Signage Zone	
19	PV Panels	
20	Roof Cladding	RAL 7035
21	Horizontal Curved Cladding Profile	RAL 7016

P04	PLANNING ISSUE - Revised Scheme	TJ	LT	07/06/2024
P03	PLANNING ISSUE	TJ	LT	26/04/2024
P02	Updated Issue	CS	LT	17/04/2024
P01	First Issue	TJ	LT	05/04/2024
Rev	Amendments	By	Chkd	Date



**Document Status**

**Planning**

**Client Name**

Sopers Lane Development LLP

**Project Name**

Sopers Lane, Poole

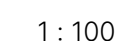
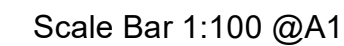
Scale	HNW Project No.	Date Created
A1 - As indicated	23023	Mar 2024

Document Title
Unit 9 - Proposed Elevations and Typical Section

Document Reference	Revision
23023-HNW-U9-ZZ-DR-A-2303	P04

Chichester	61 North Street, Chichester, PO19 1NB	01243 533300
Brighton & Hove	Plattfirm, Church Road, Hove, BN3 2AF	01273 932485





1:100



HNW  
Architects

## Planning

Sopers Lane Development LLP

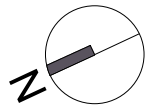
Sopers Lane, Poole

Document Title  
Unit 9 - Proposed Floor Plan

Document Reference	Revision
23023-HNW-U9-ZZ-DR-A-2208	P04

<b>Chichester</b>	61 North Street, Chichester, PO19 1NB	01243 533300
<b>Brighton &amp; Hove</b>	Platf9rm, Church Road, Hove, BN3 2AF	01273 932485



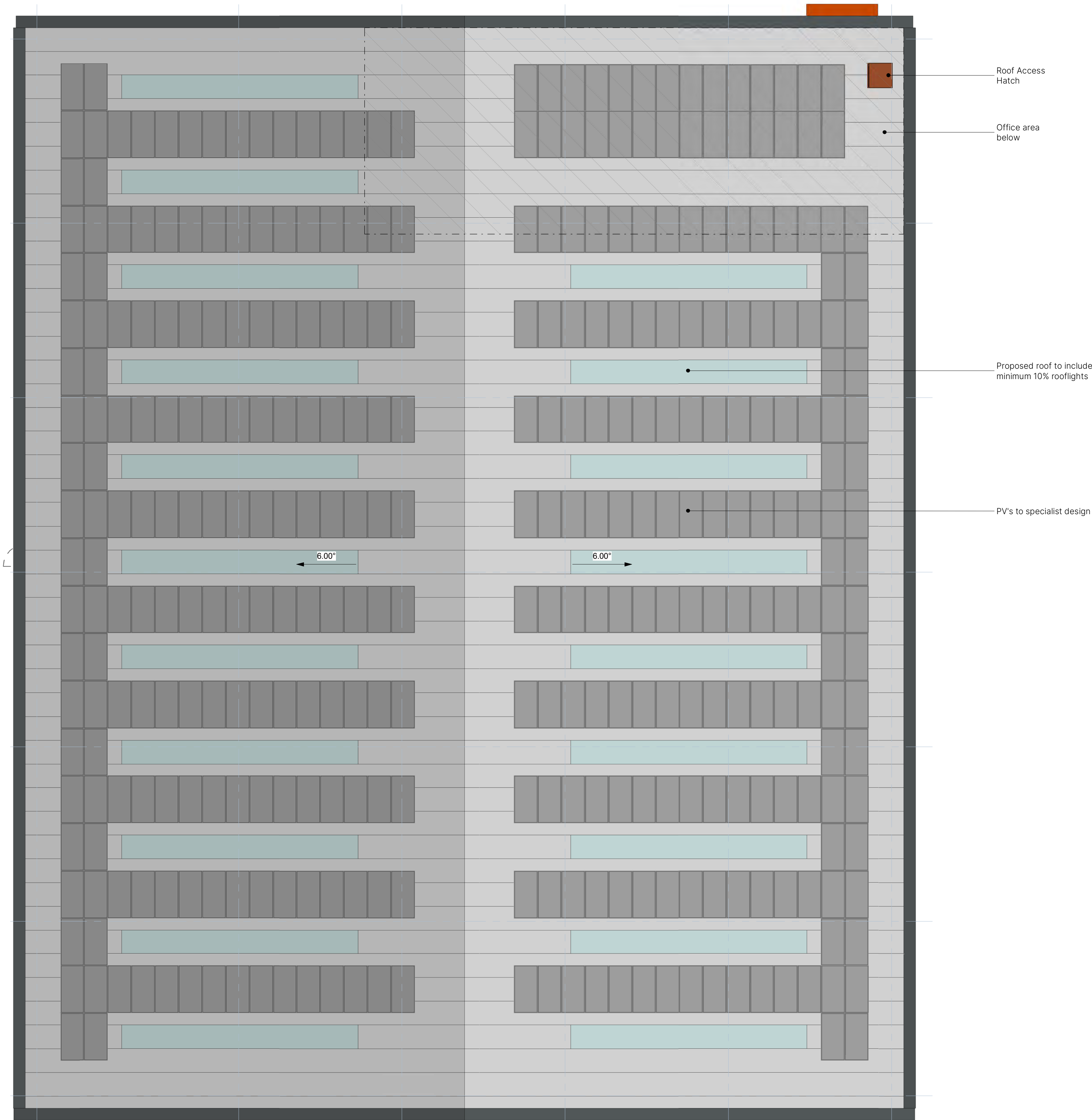


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Scale Bar 1:100 @A1



Proposed Roof Plan - Unit 9

1 : 100

P04	PLANNING ISSUE - Revised Scheme	TJ	LT	07/06/2024
P03	PLANNING ISSUE	TJ	LT	26/04/2024
P02	Updated Issue	CS	LT	17/04/2024
P01	First Issue	TJ	LT	05/04/2024
Rev	Amendments	By	Chkd	Date



Document Status  
**Planning**

Client Name  
Sopers Lane Development LLP

Project Name  
Sopers Lane, Poole

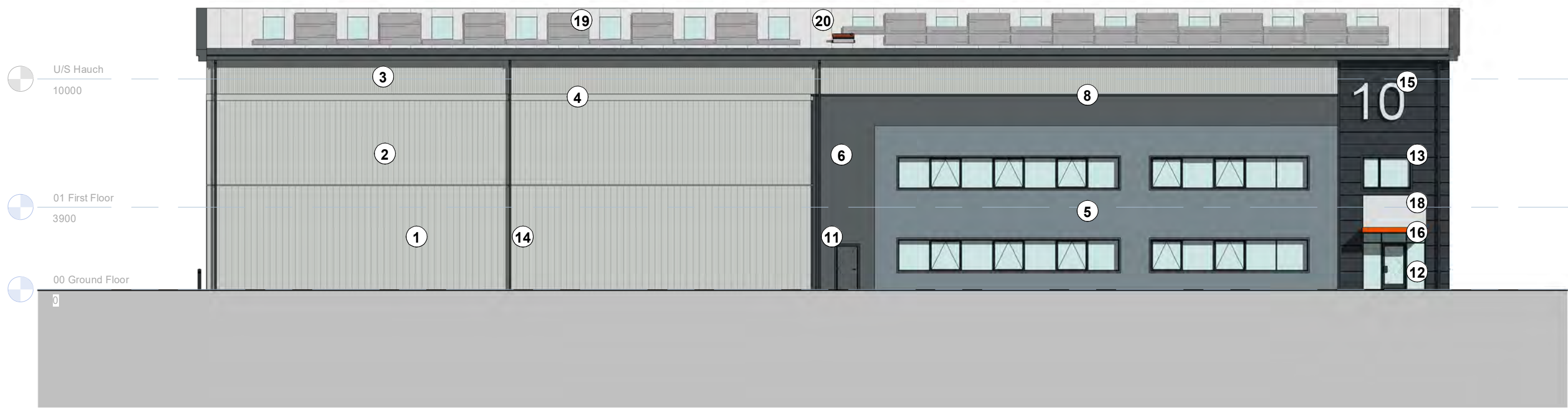
Scale	HNW Project No.	Date Created
A1 - 1 : 100	23023	Apr 2024

Document Title  
Unit 9 - Proposed Roof Plan

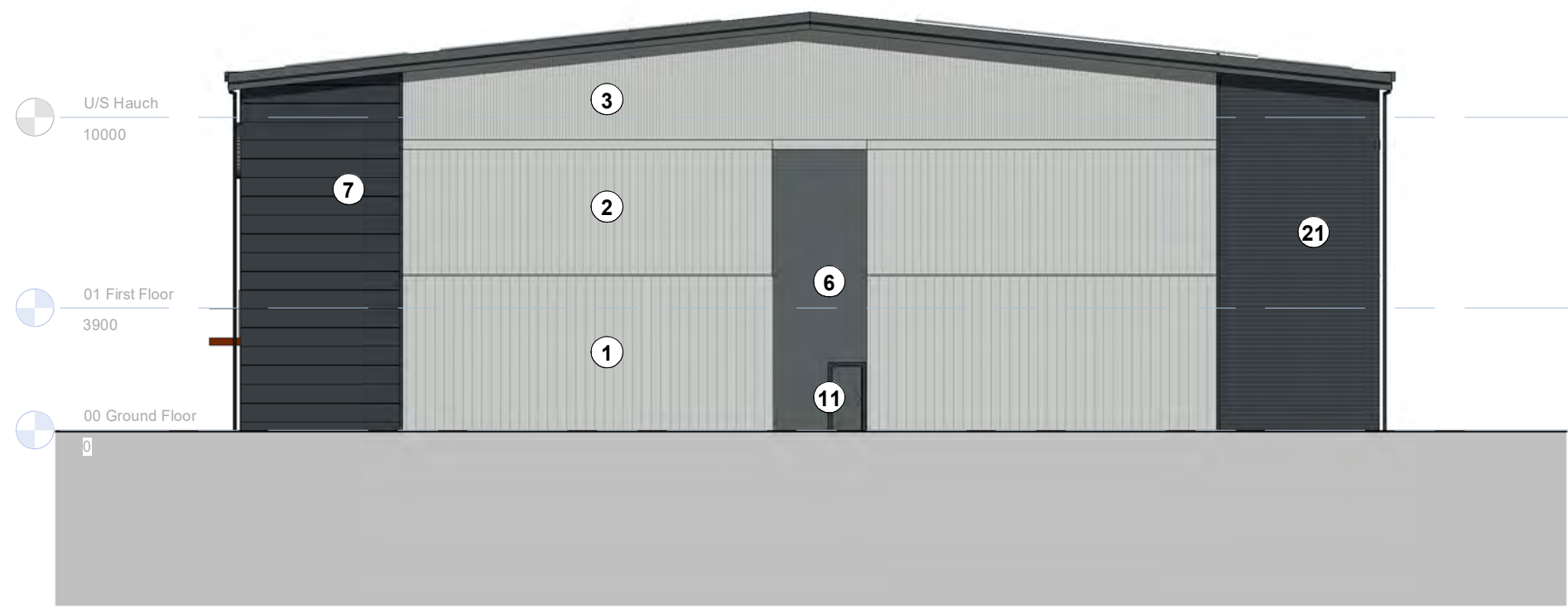
Document Reference	Revision
23023-HNW-U9-ZZ-DR-A-2210	P04

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Brighton & Hove	Plattform, Church Road, Hove, BN3 2AF	01273 932485

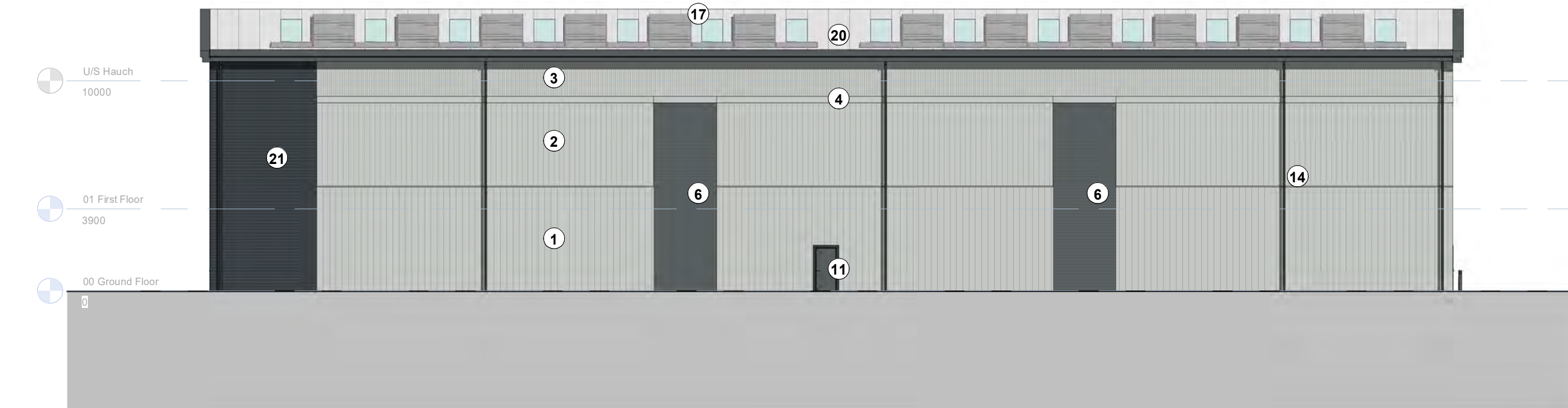




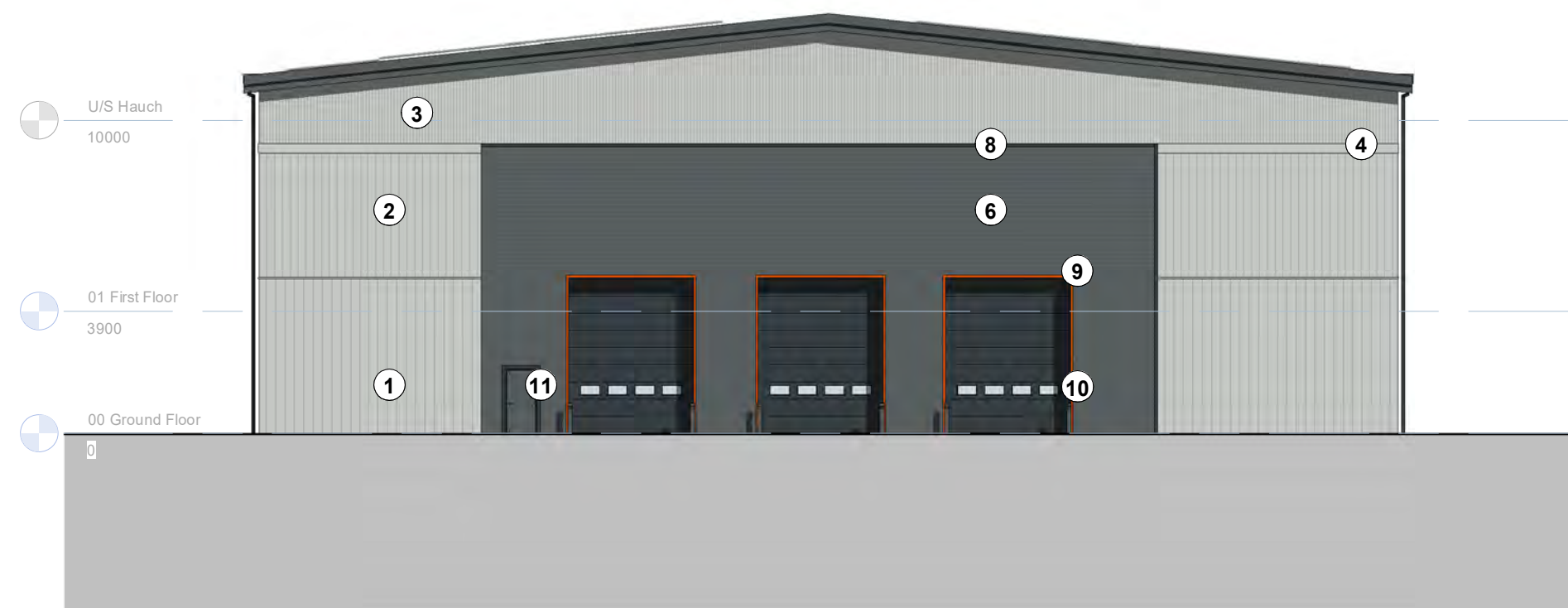
South Elevation  
1: 200



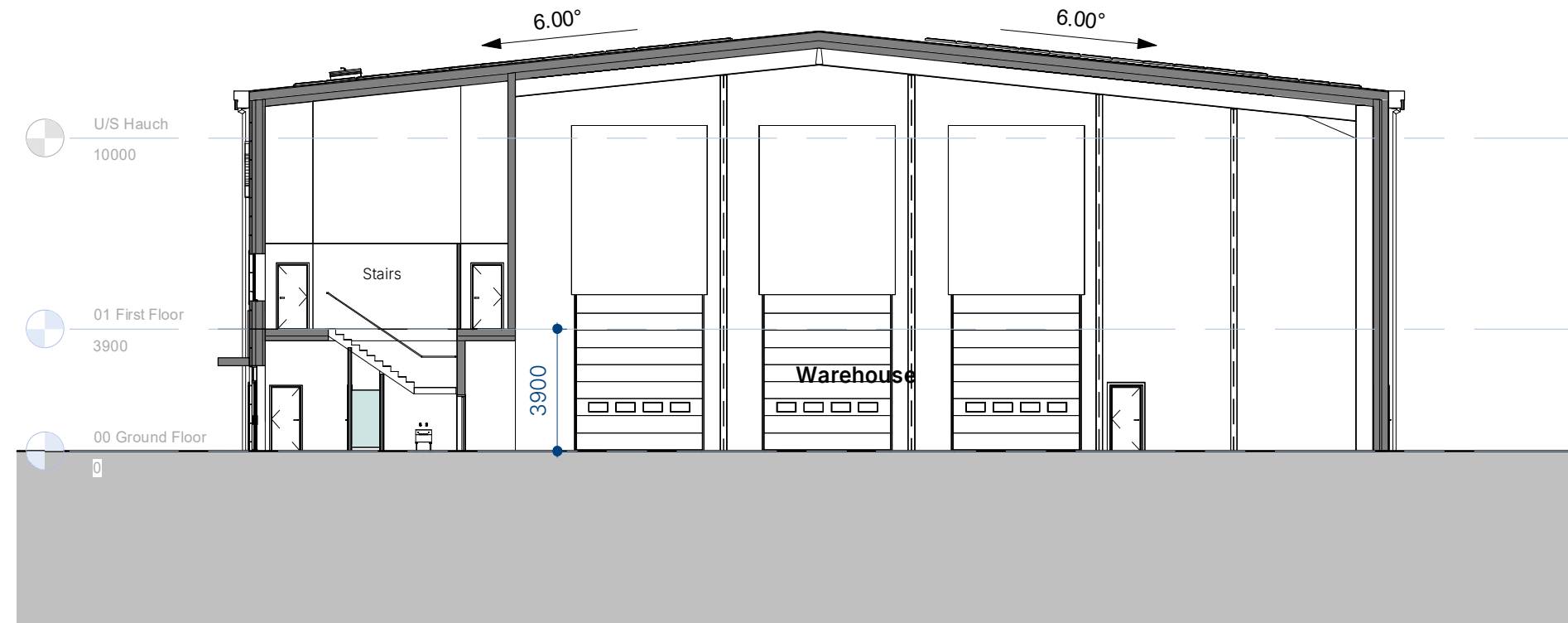
East Elevation  
1: 200



North Elevation  
1: 200



West Elevation  
1: 200



A A-A Section  
1: 200

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Scale Bar 1:200@A1

**Materials Schedule**

1	Vertical Sawtooth Cladding Profile	RAL 7035
2	Vertical Curved Cladding Profile	RAL 7035
3	Vertical Trapezoid Cladding Profile	RAL 7035
4	Feature Banding Profile	RAL 7035
5	Horizontal Curved Cladding Profile	RAL 7000
6	Horizontal Curved Cladding Profile	RAL 7012
7	Entrance rainscreen Cladding	RAL 7016
8	Feature Flashing and Fixings	RAL 7016
9	Loading Doors	RAL 7012
10	Bollards	RAL 7012
11	Personnel Doors	RAL 7012
12	PPC Aluminium Curtain Wall	RAL 7016
13	PPC Aluminium windows	RAL 7016
14	PPC Metal Hopper & Downpipes	RAL 7016
15	Unit Number - White	
16	Entrance Canopy & Feature Profiles	RAL 2004
17	Rooflights	
18	Unit Signage Zone	
19	PV Panels	
20	Roof Cladding	RAL 7035
21	Horizontal Curved Cladding Profile	RAL 7016

P04	PLANNING ISSUE - Revised Scheme	TJ	LT	07/06/2024
P03	PLANNING ISSUE	TJ	LT	26/04/2024
P02	Updated Issue	CS	LT	17/04/2024
P01	First Issue	TJ	LT	05/04/2024
Rev	Amendments	By	Chkd	Date



**Document Status**

**Planning**

**Client Name**

Sopers Lane Development LLP

**Project Name**

Sopers Lane, Poole

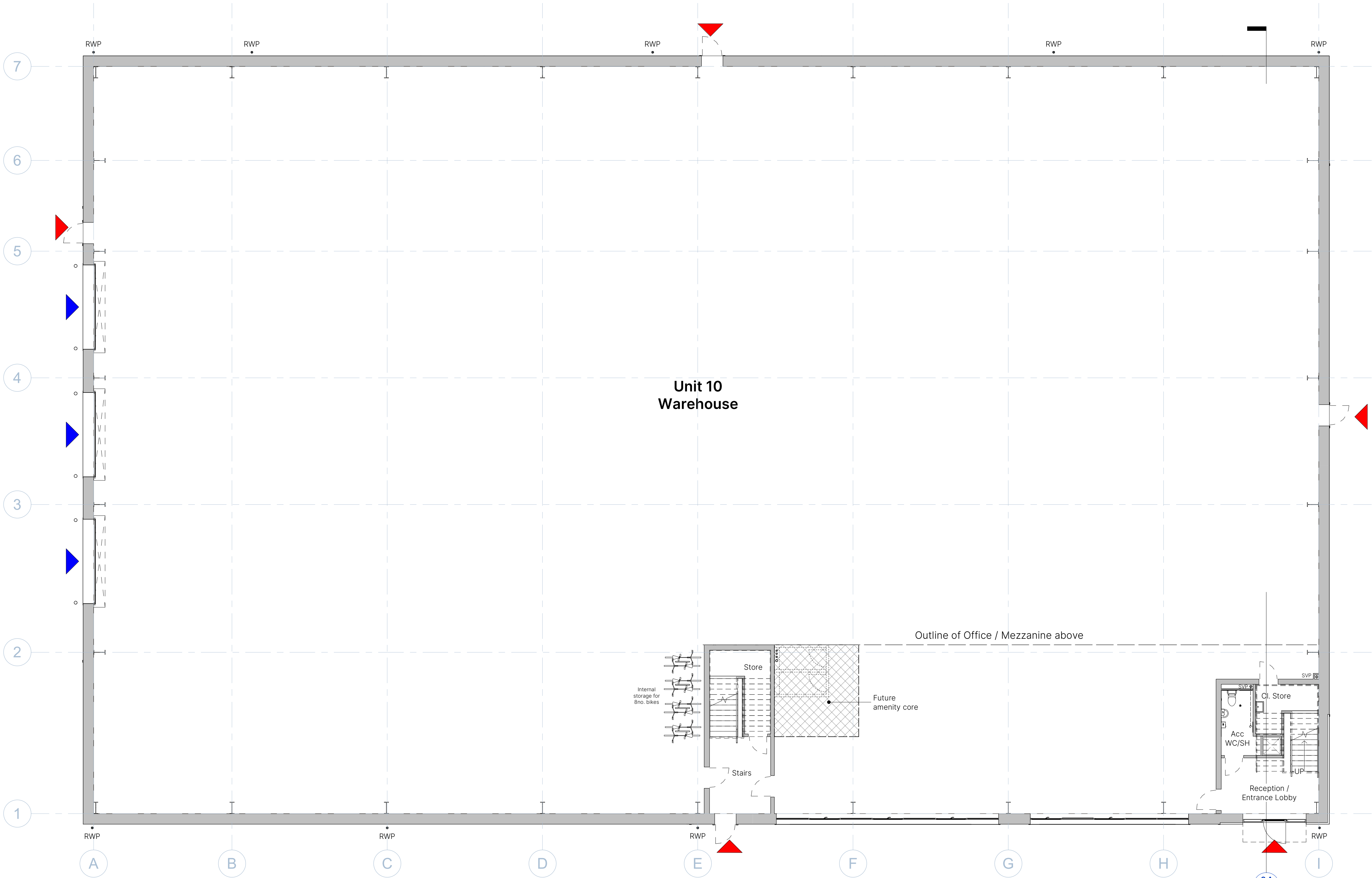
Scale	HNW Project No.	Date Created
A1 - As indicated	23023	Mar 2024

Document Title
Unit 10 - Proposed Elevations and Typical Section

Document Reference	Revision
23023-HNW-U10-ZZ-DR-A-2304	P04

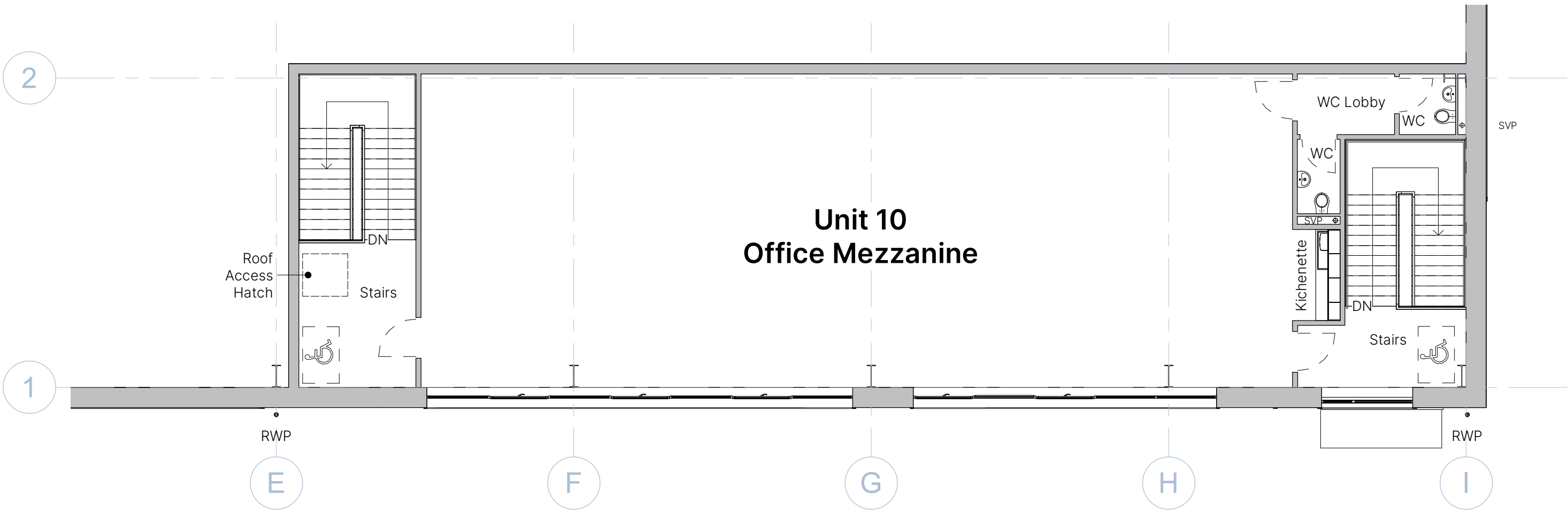
Chichester	61 North Street, Chichester, PO19 1NB	01243 533300
Brighton & Hove	Plattf9m, Church Road, Hove, BN3 2AF	01273 932485





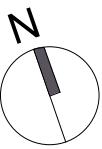
Proposed Ground Floor - Unit 10

1 : 100



Proposed First Floor Mezzanine - Unit 10

1 : 100



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Scale Bar 1:100 @A1

P04	PLANNING ISSUE - Revised Scheme	TJ	LT	07/06/2024
P03	PLANNING ISSUE	TJ	LT	26/04/2024
P02	Updated Issue	CS	LT	17/04/2024
P01	First Issue	TJ	LT	05/04/2024
Rev	Amendments	By	Chkd	Date



Document Status  
**Planning**

Client Name  
Sopers Lane Development LLP

Project Name  
Sopers Lane, Poole

Scale  
A1 - 1 : 100

HNW Project No.  
23023

Date Created  
Mar 2024

Document Title  
Unit 10 - Proposed Floor Plans

Document Reference  
23023-HNW-U10-ZZ-DR-A-2209

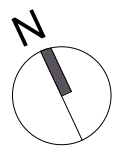
Revision  
P04

Chichester  
Brighton & Hove

61 North Street, Chichester, PO19 1NB  
Plattfirm, Church Road, Hove, BN3 2AF

01243 533300  
01273 932485





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Scale Bar 1:100 @A1

Proposed roof to include minimum 10% rooflights



Proposed Roof Plan - Unit 10

1 : 100

Roof Access Hatch

PV's to specialist design

Office area below

P04	PLANNING ISSUE - Revised Scheme	TJ	LT	07/06/2024
P03	PLANNING ISSUE	TJ	LT	26/04/2024
P02	Updated Issue	CS	LT	17/04/2024
P01	First Issue	TJ	LT	05/04/2024
Rev	Amendments	By	Chkd	Date



Document Status  
**Planning**

Client Name  
Sopers Lane Development LLP

Project Name  
Sopers Lane, Poole

Scale	HNW Project No.	Date Created
A1 - 1 : 100	23023	Jan 2024

Document Title  
Unit 10 - Proposed Roof Plan

Document Reference	Revision
23023-HNW-U10-RF-DR-A-2211	P04

Chichester	61 North Street, Chichester, PO19 1NB	01243 533300
Brighton & Hove	Plattfirm, Church Road, Hove, BN3 2AF	01273 932485



Materials Schedule		
1	Vertical Sawtooth Cladding Profile	RAL 7035
2	Vertical Curved Cladding Profile	RAL 7035
3	Vertical Trapezoid Cladding Profile	RAL 7035
4	Feature Banding Profile	RAL 7035
5	Horizontal Curved Cladding Profile	RAL 7000
6	Horizontal Curved Cladding Profile	RAL 7012
7	Entrance rainscreen Cladding	RAL 7016
8	Feature Flashing and Fixings	RAL 7016
9	Loading Doors	RAL 7012
10	Bollards	RAL 7012
11	Personnel Doors	RAL 7012
12	PPC Aluminium Curtain Wall	RAL 7016
13	PPC Aluminium windows	RAL 7016
14	PPC Metal Hopper & Downpipes	RAL 7016
15	Unit Number - White	
16	Entrance Canopy & Feature Profiles	RAL 2004
17	Rooflights	
18	Unit Signage Zone	
19	PV Panels	
20	Roof Cladding	RAL 7035
21	Horizontal Curved Cladding Profile	RAL 7016

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0m

1m

2.5m

5m

10m

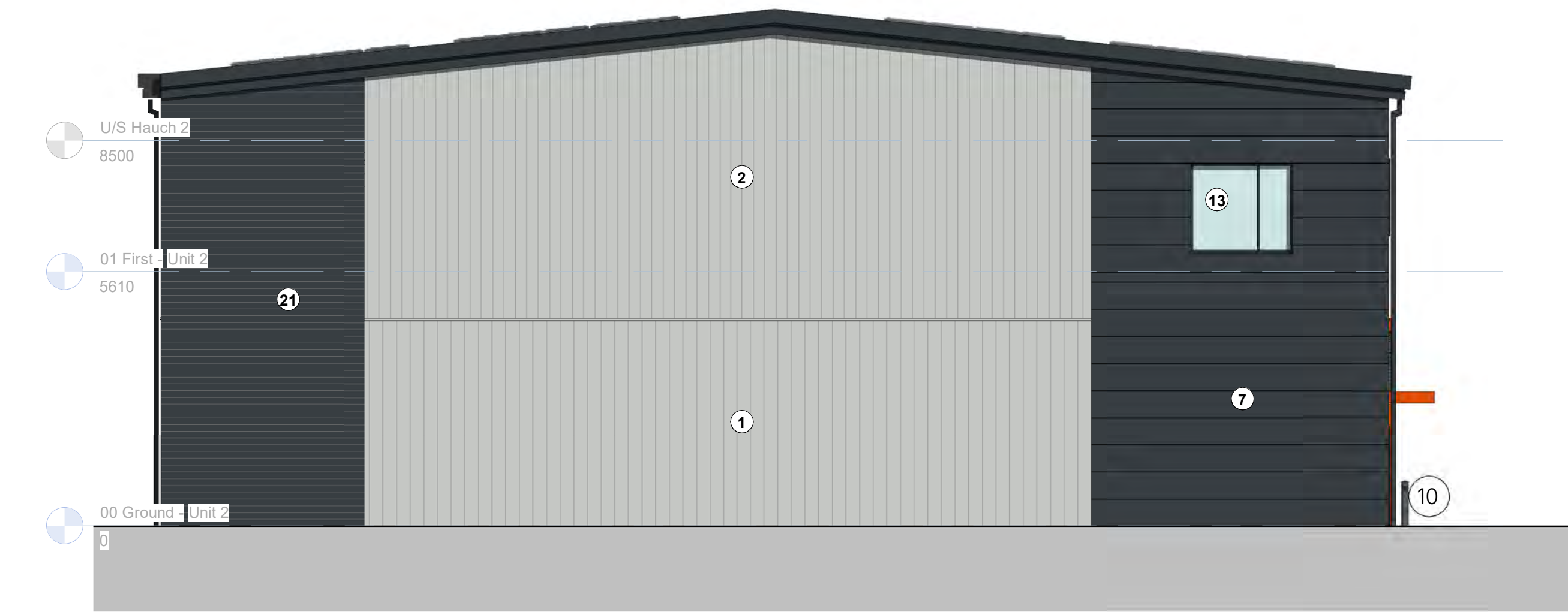
Scale Bar 1:100 @A1



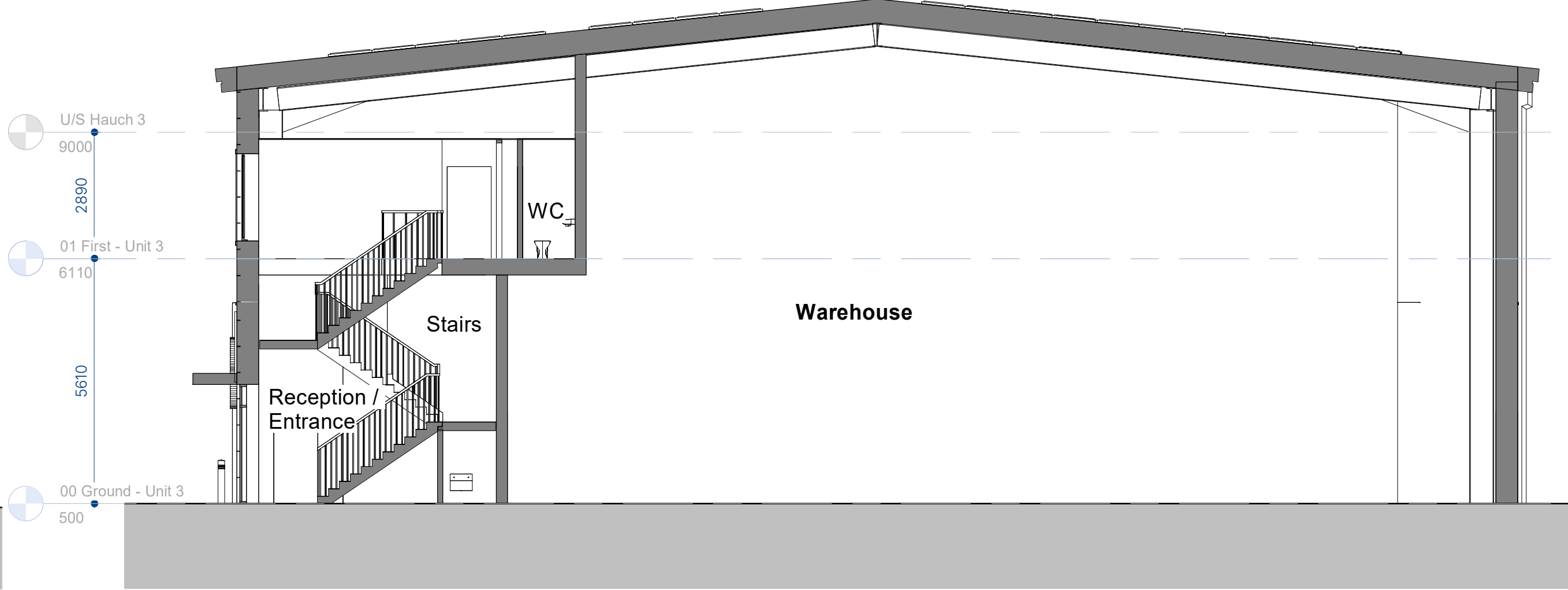
North Elevation  
1: 100



South Elevation  
1: 100



East Elevation  
1: 100



Typical Section  
1: 100

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P04	PLANNING ISSUE - Revised Scheme	TJ	LT	07/06/2024
P03	PLANNING ISSUE	LT	SD	26/04/2024
P02	Updated Issue	CS	LT	17/04/2024
P01	Draft Issue	LT	SD	28/03/2024
Rev	Amendments	By	Chkd	Date



Document Status  
**Preliminary**  
Client Name  
Sopers Lane Development LLP  
Project Name  
Sopers Lane, Poole

Scale	HNW Project No.	Date Created
A1 - As indicated	23023	05/20/20

Document Title  
Units 2-4 - Proposed Elevations and Typical Section

Document Reference	Revision
23023-HNW-U2-ZZ-DR-A-2301	P04

Chichester	61 North Street, Chichester, PO19 1NB	01243 533300
Brighton & Hove	Plaffrm, Church Road, Hove, BN3 2AF	01273 932485





North Elevation

1:100



South Elevation

1:100



West Elevation

1:100

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P04	PLANNING ISSUE - Revised Scheme	TJ	LT	07/06/2024
P03	PLANNING ISSUE	LT	SD	26/04/2024
P02	Updated Issue	CS	LT	17/04/2024
P01	Draft Issue	LT	SD	28/03/2024
Rev	Amendments	By	Chkd	Date



**Document Status**

**Preliminary**

**Client Name**

Sopers Lane Development LLP

**Project Name**

Sopers Lane, Poole

Scale	HNW Project No.	Date Created
A1 - As indicated	23023	05/20/20

Document Title	Units 5-8 - Proposed Elevations
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Document Reference	Revision
23023-HNW-U2-ZZ-DR-A-2302	P04

Chichester	61 North Street, Chichester, PO19 1NB	01243 533300
Brighton & Hove	Plaffirm, Church Road, Hove, BN3 2AF	01273 932485

**Materials Schedule**

1	Vertical Sawtooth Cladding Profile	RAL 7035
2	Vertical Curved Cladding Profile	RAL 7035
3	Vertical Trapezoid Cladding Profile	RAL 7035
4	Feature Banding Profile	RAL 7035
5	Horizontal Curved Cladding Profile	RAL 7000
6	Horizontal Curved Cladding Profile	RAL 7012
7	Entrance rainscreen Cladding	RAL 7016
8	Feature Flashing and Fixings	RAL 7016
9	Loading Doors	RAL 7012
10	Bollards	RAL 7012
11	Personnel Doors	RAL 7012
12	PPC Aluminium Curtain Wall	RAL 7016
13	PPC Aluminium windows	RAL 7016
14	PPC Metal Hopper & Downpipes	RAL 7016
15	Unit Number - White	
16	Entrance Canopy & Feature Profiles	RAL 2004
17	Rooflights	
18	Unit Signage Zone	
19	PV Panels	
20	Roof Cladding	RAL 7035
21	Horizontal Curved Cladding Profile	RAL 7016



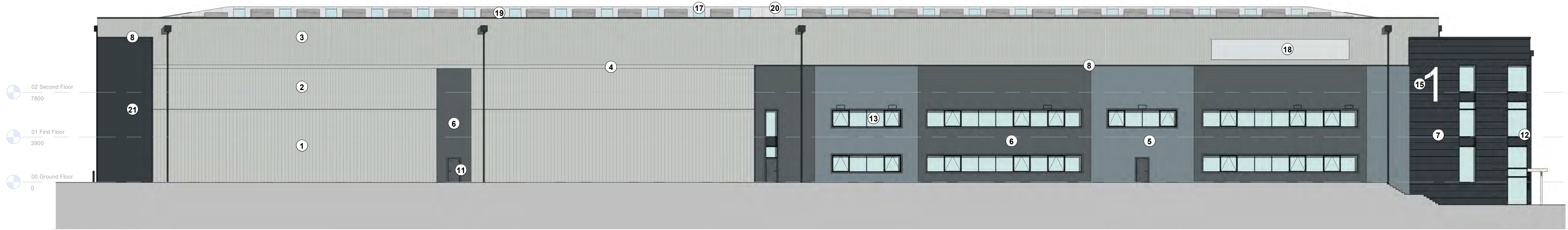
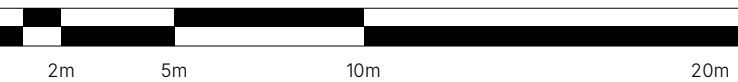
**Note: Design Intent**

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**Note: Coordination**

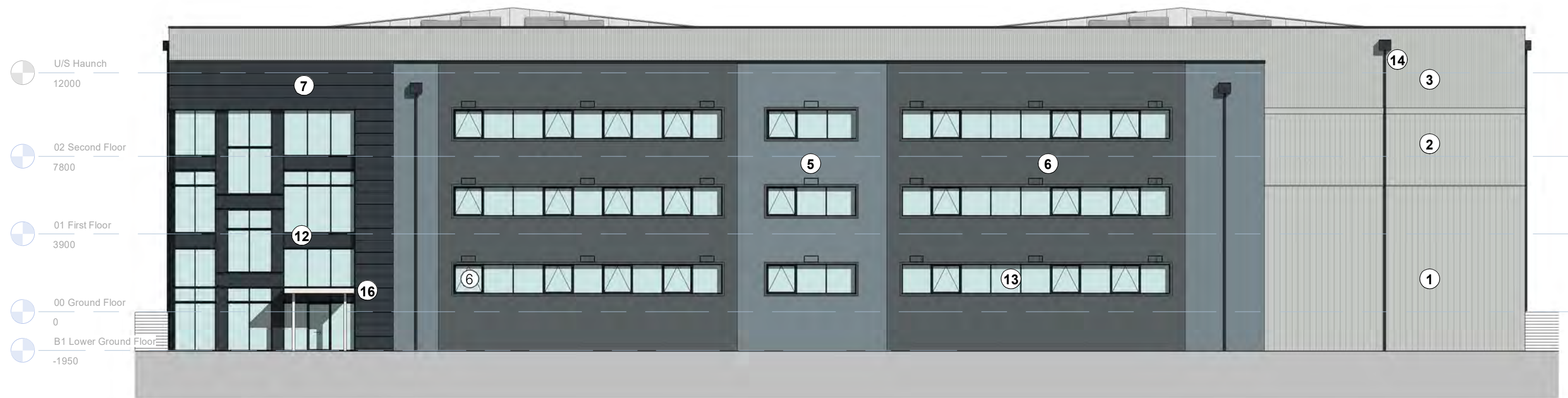
This drawing is subject to further coordination and should be read in conjunction with all relevant Architectural, Consultant and Specialist information.

1:200@A1



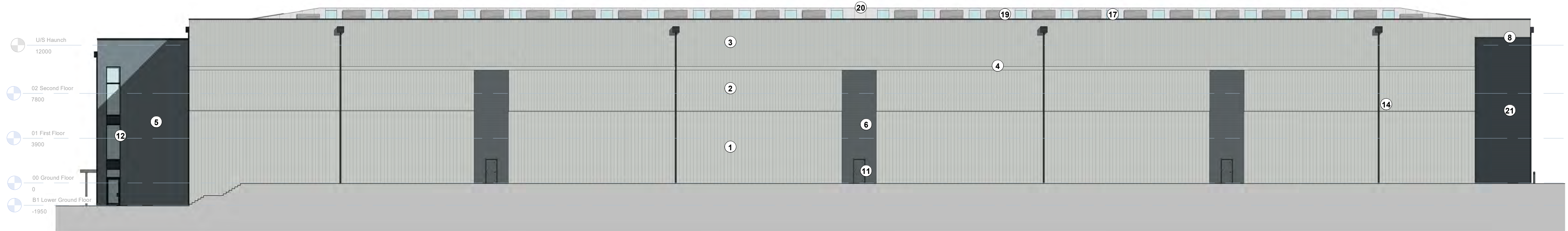
**South Elevation**

1: 200



**East Elevation**

1: 200



**North Elevation**

1: 200



**West Elevation**

1: 200

**Materials Schedule**

1	Vertical Sawtooth Cladding Profile	RAL 7035
2	Vertical Curved Cladding Profile	RAL 7035
3	Vertical Trapezoid Cladding Profile	RAL 7035
4	Feature Banding Profile	RAL 7035
5	Horizontal Curved Cladding Profile	RAL 7000
6	Horizontal Curved Cladding Profile	RAL 7012
7	Entrance rainscreen Cladding	RAL 7016
8	Feature Flashing and Fixings	RAL 7016
9	Loading Doors	RAL 7012
10	Bollards	RAL 7012
11	Personnel Doors	RAL 7012
12	PPC Aluminium Curtain Wall	RAL 7016
13	PPC Aluminium windows	RAL 7016
14	PPC Metal Hopper & Downpipes	RAL 7016
15	Unit Number - White	
16	Entrance Canopy & Feature Profiles	RAL 9010
17	Rooflights	
18	Unit Signage Zone	
19	PV Panels	
20	Roof Cladding	RAL 7035
21	Horizontal Curved Cladding Profile	RAL 7016

P05	PLANNING ISSUE - Revised Colours	TJ	LT	12/06/2024
P04	TV Issue	TJ	LT	05/05/2024
P03	PLANNING ISSUE	TJ	LT	26/04/2024
P02	Draft Issue	LT	SD	28/03/2024
P01	First Issue	LT	SD	26/03/2024
Rev	Amendments	By	Chkd	Date



**Document Status**

**Planning**

**Client Name**

Sopers Lane Development LLP

**Project Name**

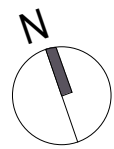
Sopers Lane, Poole

Scale	HNW Project No.	Date Created
A1 - As indicated	23023	Mar 2024

Document Title  
Unit 1 - Proposed Elevations

Document Reference	Revision
23023-HNW-U1-ZZ-DR-A-2300	P05
Chichester	61 North Street, Chichester, PO19 1NB
Brighton & Hove	Plattf9m, Church Road, Hove, BN3 2AF





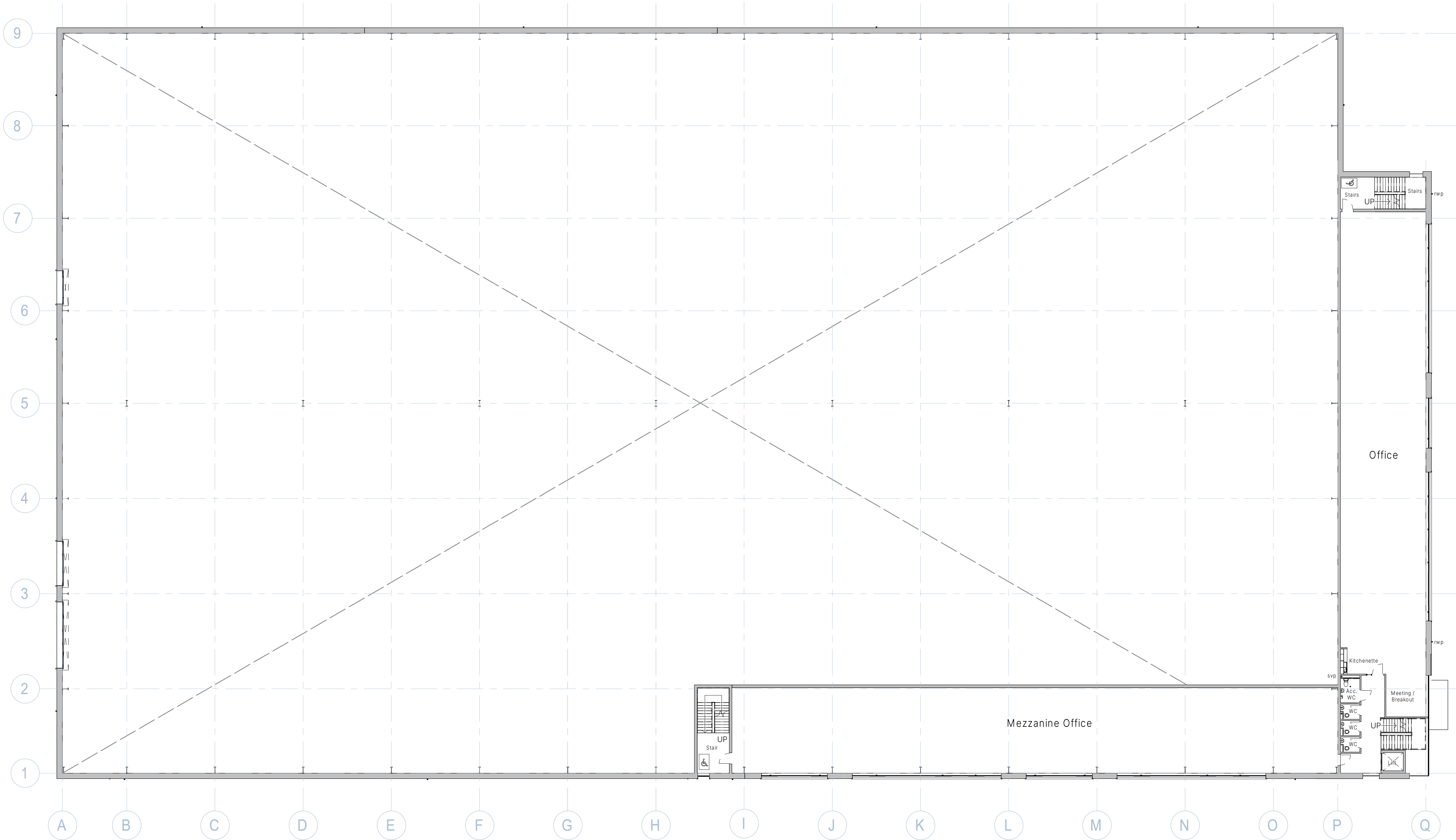
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**Note: Design Intent**

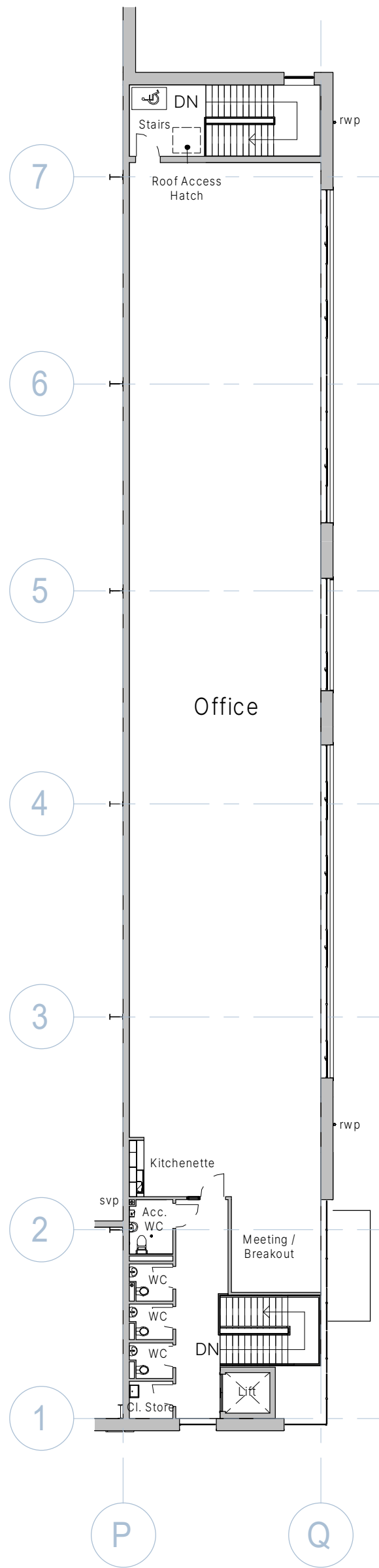
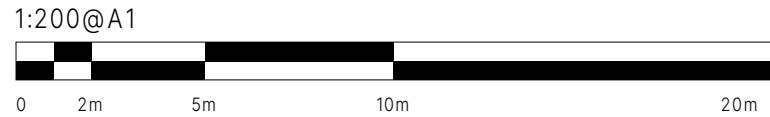
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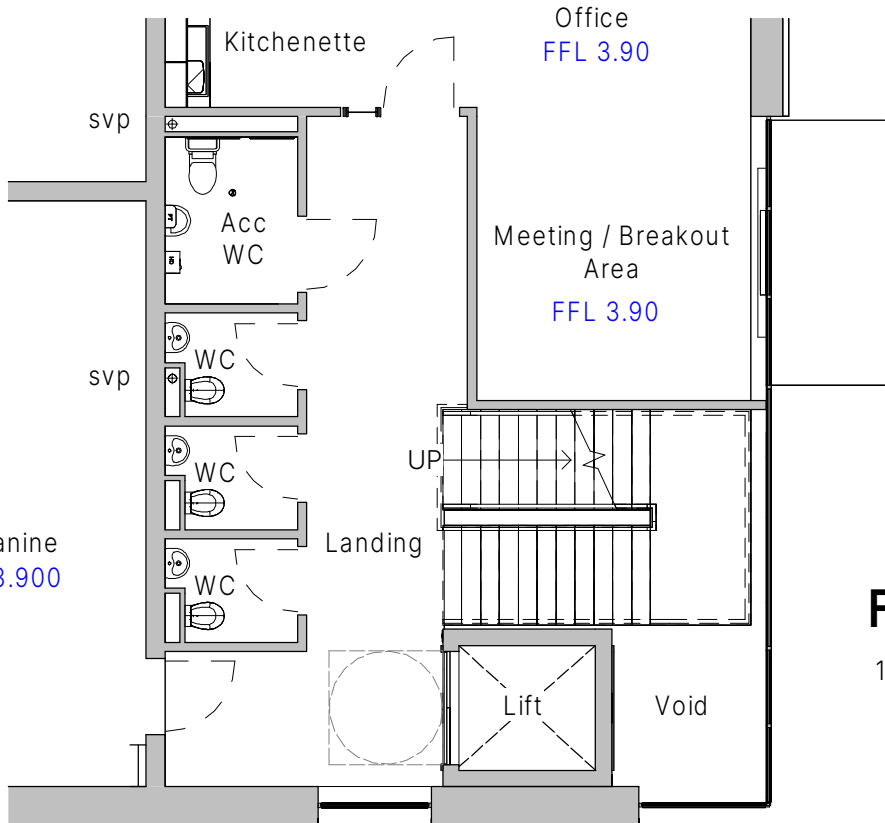


**Proposed First Floor**



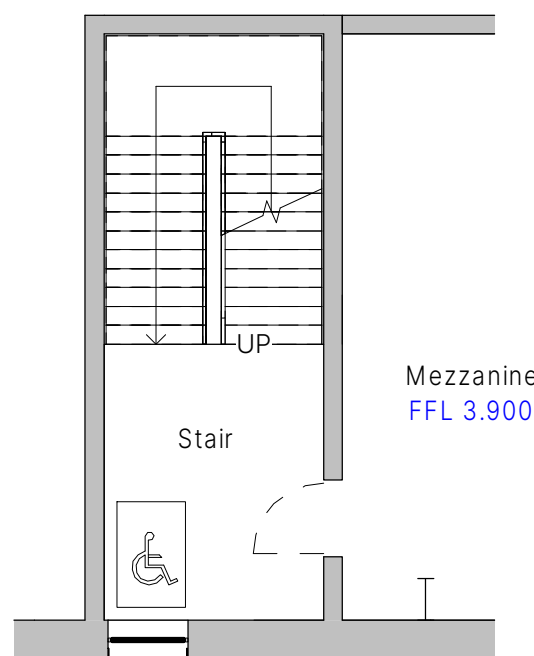
**Proposed Second Floor**

P05	TV Issue	TJ	LT	05/05/2024
P04	PLANNING ISSUE	TJ	LT	26/04/2024
P03	Draft Issue	LT	SD	28/03/2024
P02	FFLs Revised	LT	SD	26/03/2024
P01	First Issue	CS	LT	13/03/2024
Rev	Amendments	By	Chkd	Date



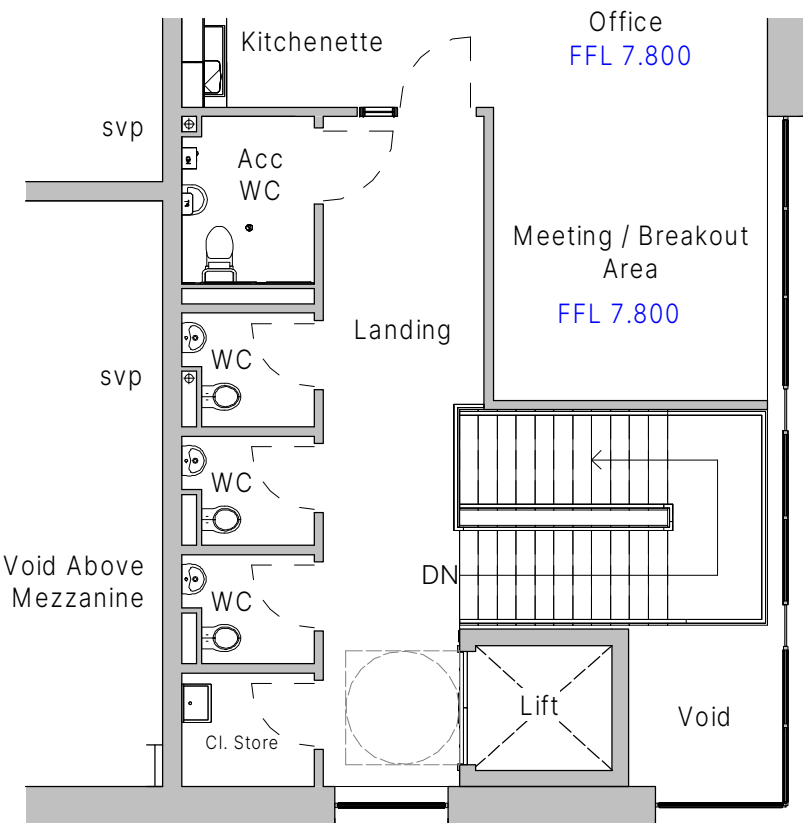
**First Floor Core**

1: 100



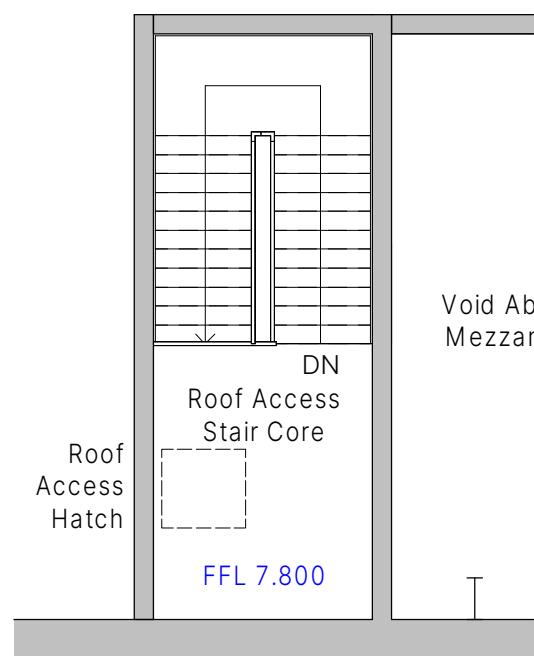
**Mezzanine Stair Core**

1: 100



**Second Floor Core**

1: 100



**Secondary Stair Core**

1: 100



**Document Status**

**Planning**

**Client Name**  
Sopers Lane Development LLP

**Project Name**  
Sopers Lane, Poole

**Scale**  
A1 - As indicated

**HNW Project No.**  
23023

**Date Created**  
Mar 2024

**Document Title**  
Unit 1 - Proposed First & Second Floor Plans

**Document Reference**  
23023-HNW-U1-ZZ-DR-A-2201

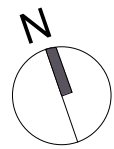
**Revision**  
P05

**Chichester**  
Brighton & Hove

61 North Street, Chichester, PO19 1NB  
Plattform, Church Road, Hove, BN3 2AF

01243 533300  
01273 932485





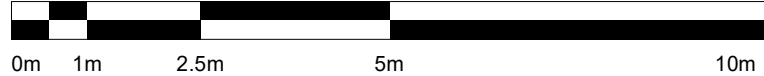
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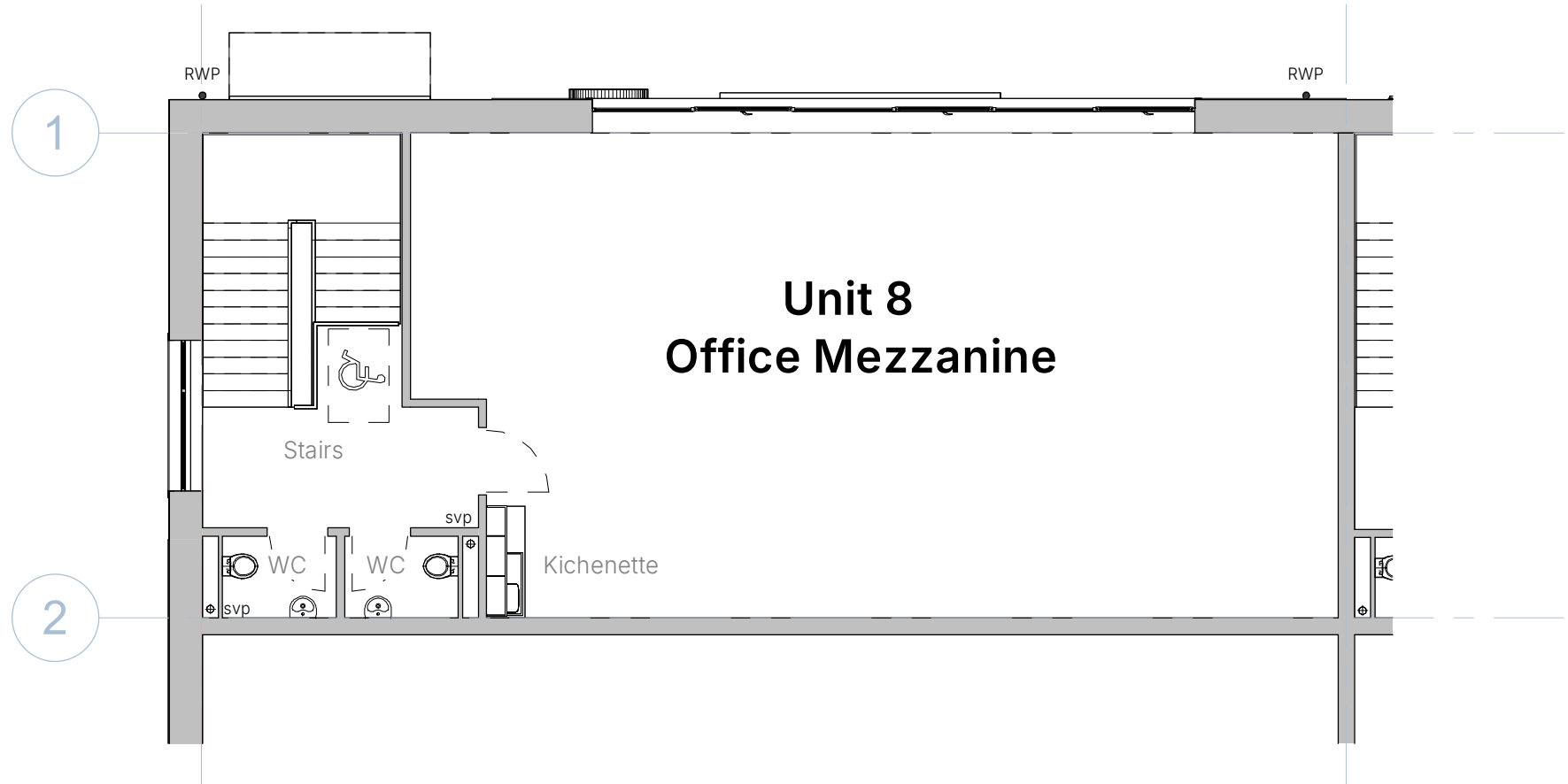
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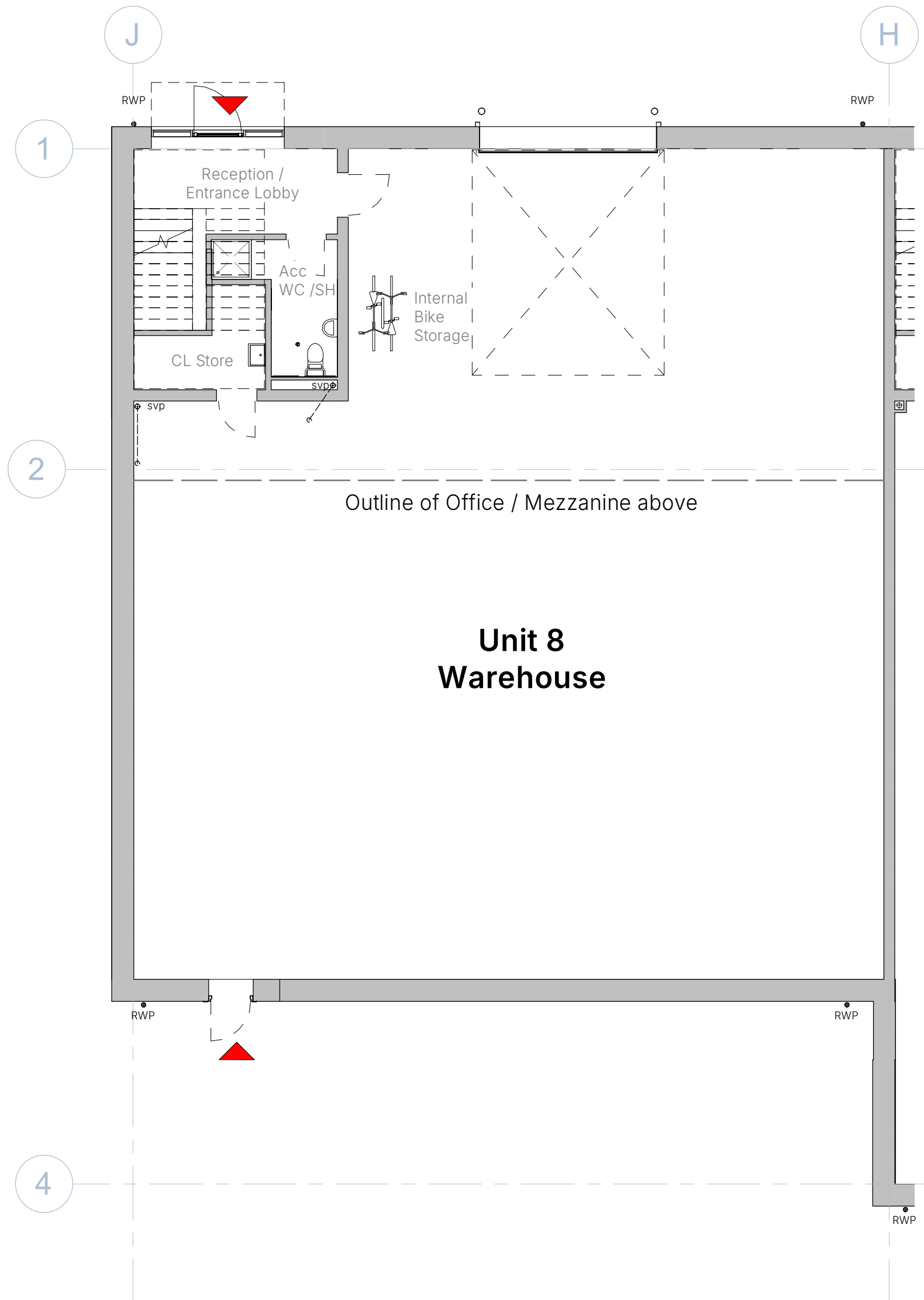


Scale Bar 1:100 @A1



**Proposed First Floor Mezzanine - Unit 8**

1 : 100



**Proposed Ground Floor - Unit 8**

1 : 100

P05	PLANNING ISSUE - Revised Scheme	TJ	LT	07/06/2024
P04	PLANNING ISSUE	LT	SD	26/04/2024
P03	Updated Issue	CS	LT	17/04/2024
P02	Draft Issue	LT	SD	28/03/2024
P01	First Issue	CS	LT	13/03/2024
Rev	Amendments	By	Chkd	Date



**Document Status**

**Preliminary**

**Client Name**

Sopers Lane Development LLP

**Project Name**

Sopers Lane, Poole

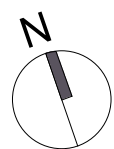
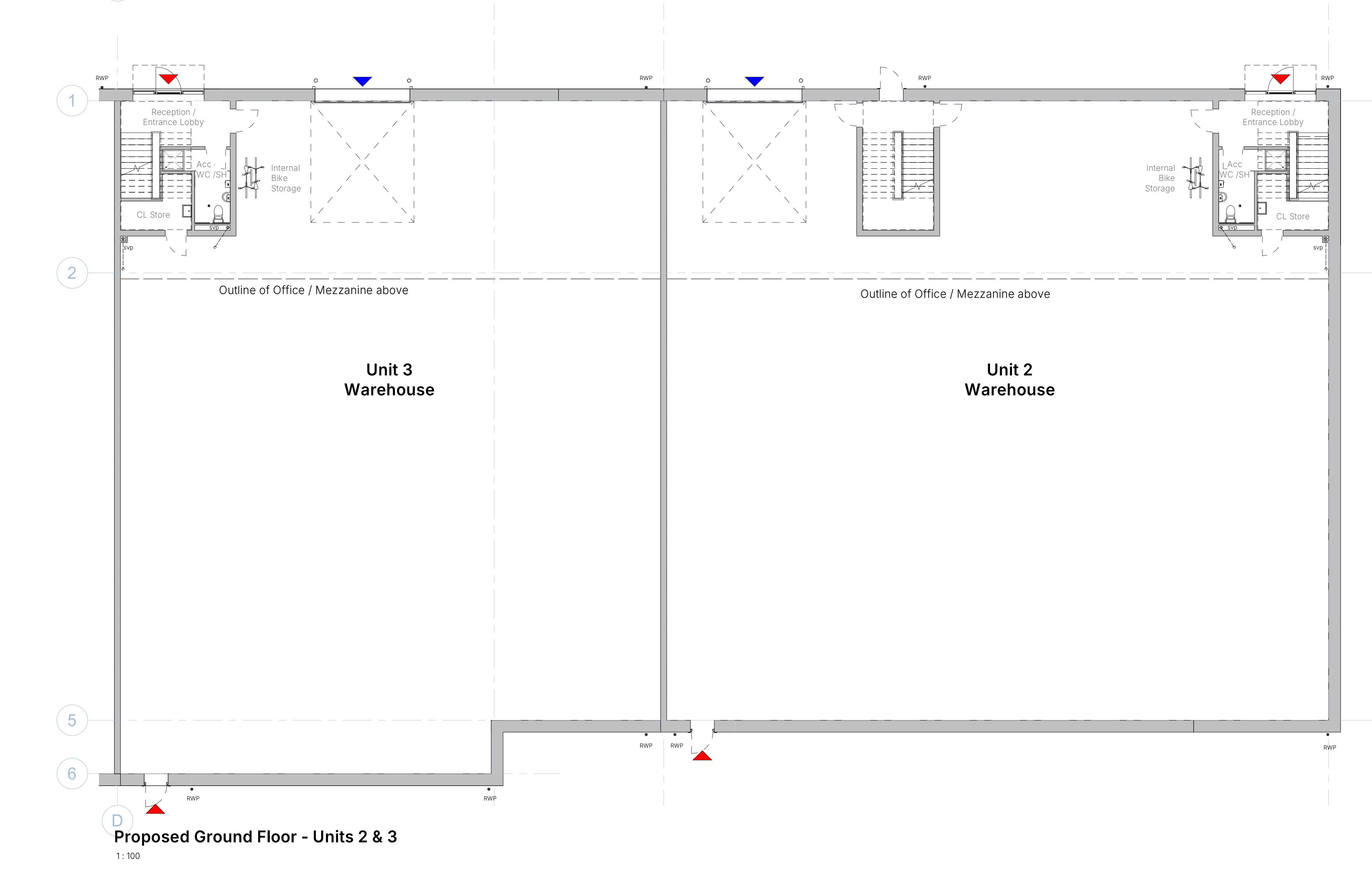
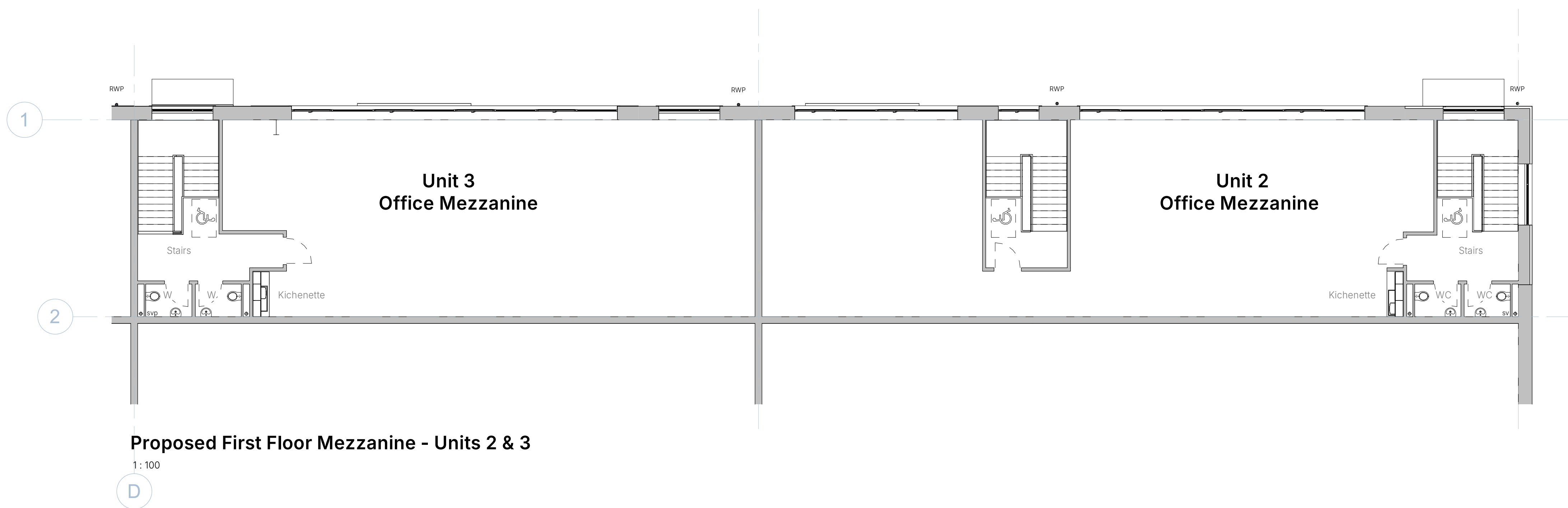
Scale	HNW Project No.	Date Created
A1 - 1 : 100	23023	Mar 2024

**Document Title**  
Unit 8 - Proposed Ground & First Floor Plans

Document Reference	Revision
23023-HNW-U2-ZZ-DR-A-2206	P05

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Scale Bar 1:100 @A1

P05	PLANNING ISSUE - Revised Scheme	TJ	LT	07/06/2024
P04	PLANNING ISSUE	LT	SD	26/04/2024
P03	Updated Issue	CS	LT	17/04/2024
P02	Draft Issue	LT	SD	28/03/2024
P01	First Issue	CS	LT	13/03/2024
Rev	Amendments	By	Chkd	Date



**Document Status**

**Preliminary**

**Client Name**

Sopers Lane Development LLP

**Project Name**

Sopers Lane, Poole

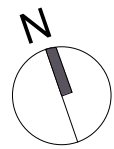
Scale	HNW Project No.	Date Created
A1 - 1:100	23023	Mar 2024

Document Title
Units 2 & 3 - Proposed Ground & First Floor Plans

Document Reference	Revision
23023-HNW-U2-ZZ-DR-A-2203	P05

Chichester	61 North Street, Chichester, PO19 1NB	01243 533300
Brighton & Hove	Plaffm, Church Road, Hove, BN3 2AF	01273 932485

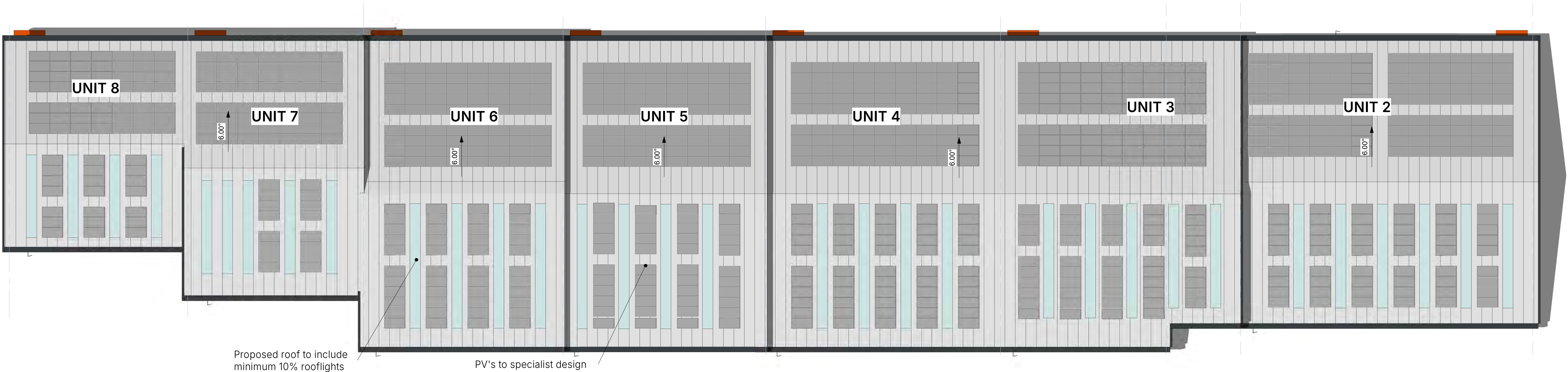
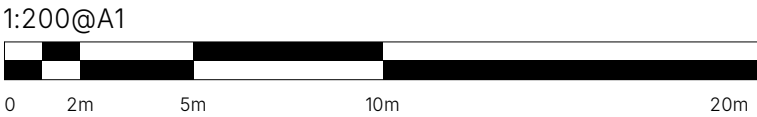




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Proposed Roof Plan - Units 2-8  
1 : 200

P05	PLANNING ISSUE - Revised Scheme	TJ	LT	07/06/2024
P04	PLANNING ISSUE	LT	SD	26/04/2024
P03	Updated Issue	CS	LT	17/04/2024
P02	Draft Issue	LT	SD	28/03/2024
P01	First Issue	CS	LT	13/03/2024
Rev	Amendments	By	Chkd	Date



**Document Status**  
**Preliminary**

**Client Name**  
Sopers Lane Development LLP

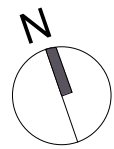
**Project Name**  
Sopers Lane, Poole

Scale	HNW Project No.	Date Created
A1 - 1 : 200	23023	Mar 2024

**Document Title**  
Units 2-8 - Proposed Roof Plan

Document Reference	Revision
23023-HNW-U2-ZZ-DR-A-2207	P05
Chichester	61 North Street, Chichester, PO19 1NB
Brighton & Hove	Plattf9m, Church Road, Hove, BN3 2AF





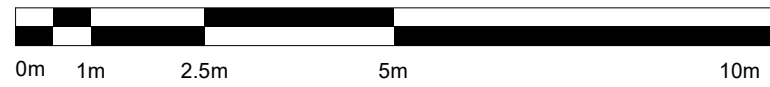
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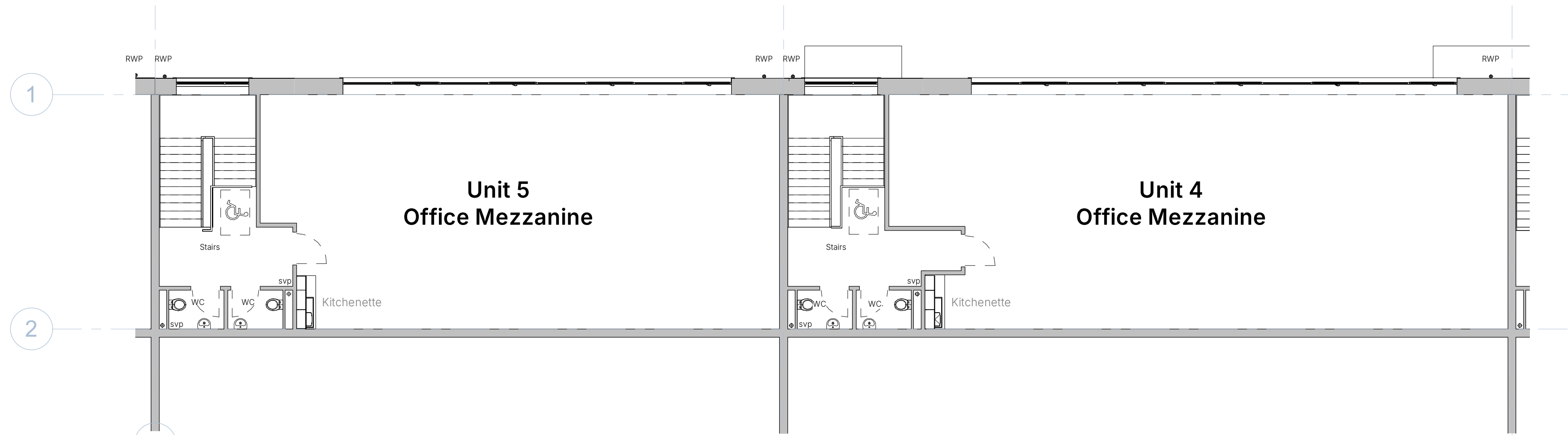
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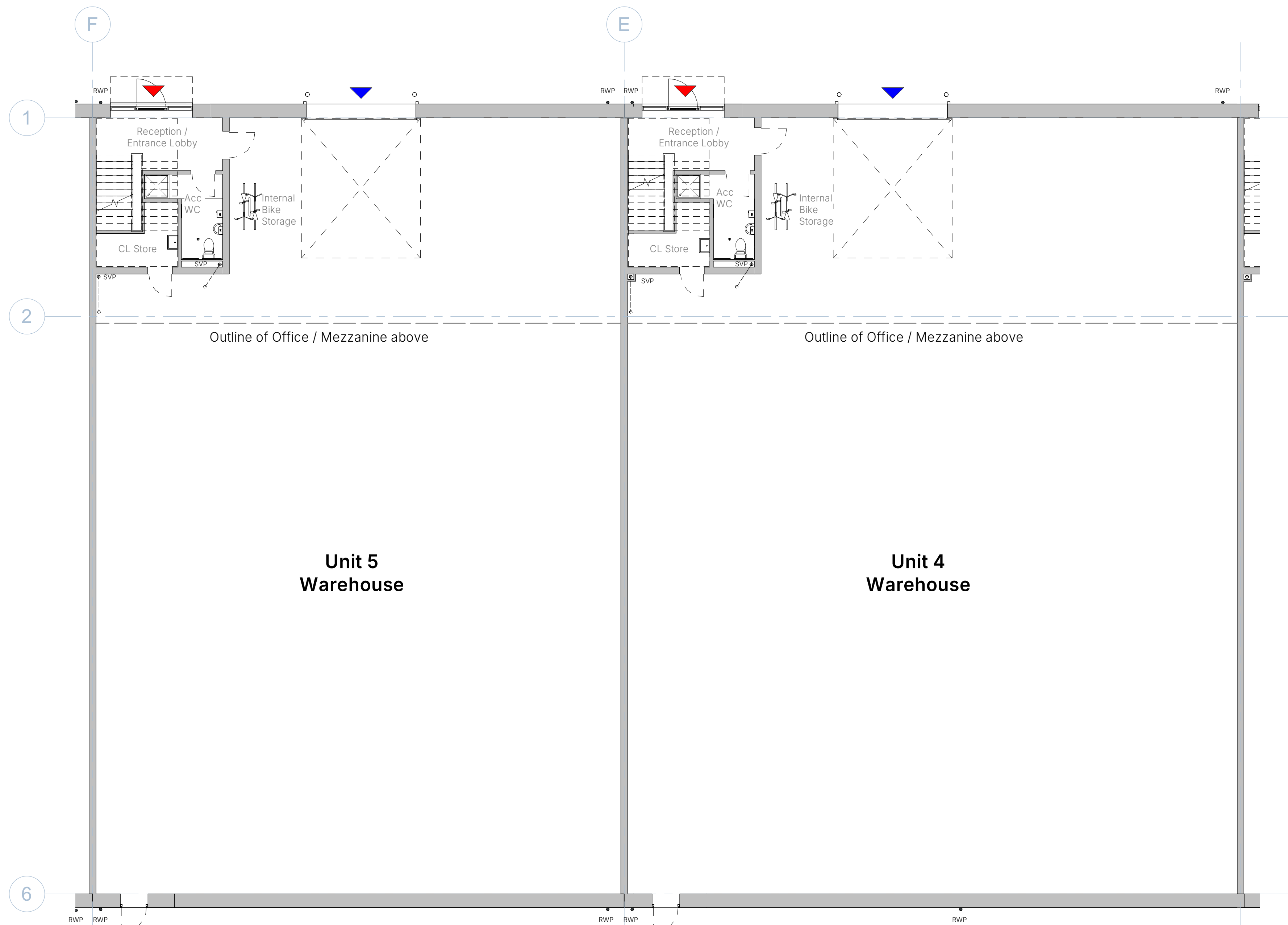


Scale Bar 1:100 @A1



**Proposed First Floor Mezzanine - Units 4 & 5**

1 : 100



**Proposed Ground Floor - Units 4 & 5**

1 : 100

P05	PLANNING ISSUE - Revised Scheme	TJ	LT	07/06/2024
P04	PLANNING ISSUE	LT	SD	26/04/2024
P03	Updated Issue	CS	LT	17/04/2024
P02	Draft Issue	LT	SD	28/03/2024
P01	First Issue	CS	LT	13/03/2024
Rev	Amendments	By	Chkd	Date



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**Client Name**

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**Project Name**

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Scale	HNW Project No.	Date Created
A1 - 1 : 100	23023	Mar 2024

**Document Title**  
Units 4 & 5 - Proposed Ground & First Floor Plans

Document Reference	Revision
23023-HNW-U2-ZZ-DR-A-2204	P05

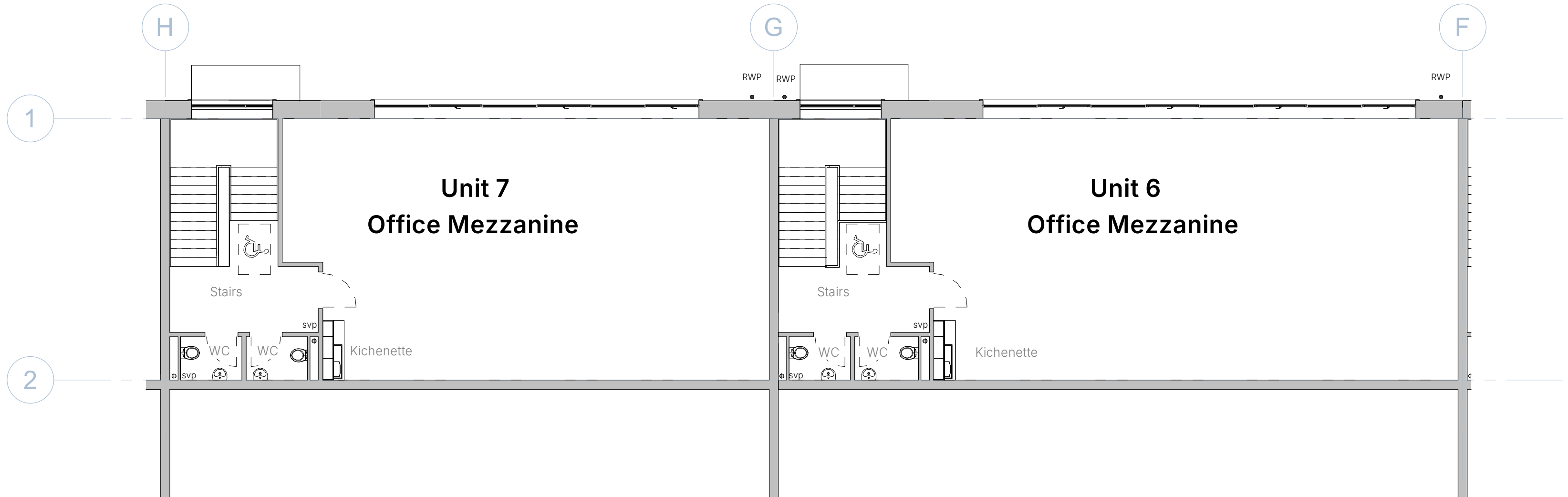
Chichester	61 North Street, Chichester, PO19 1NB	01243 533300
Brighton & Hove	Plaffarm, Church Road, Hove, BN3 2AF	01273 932485



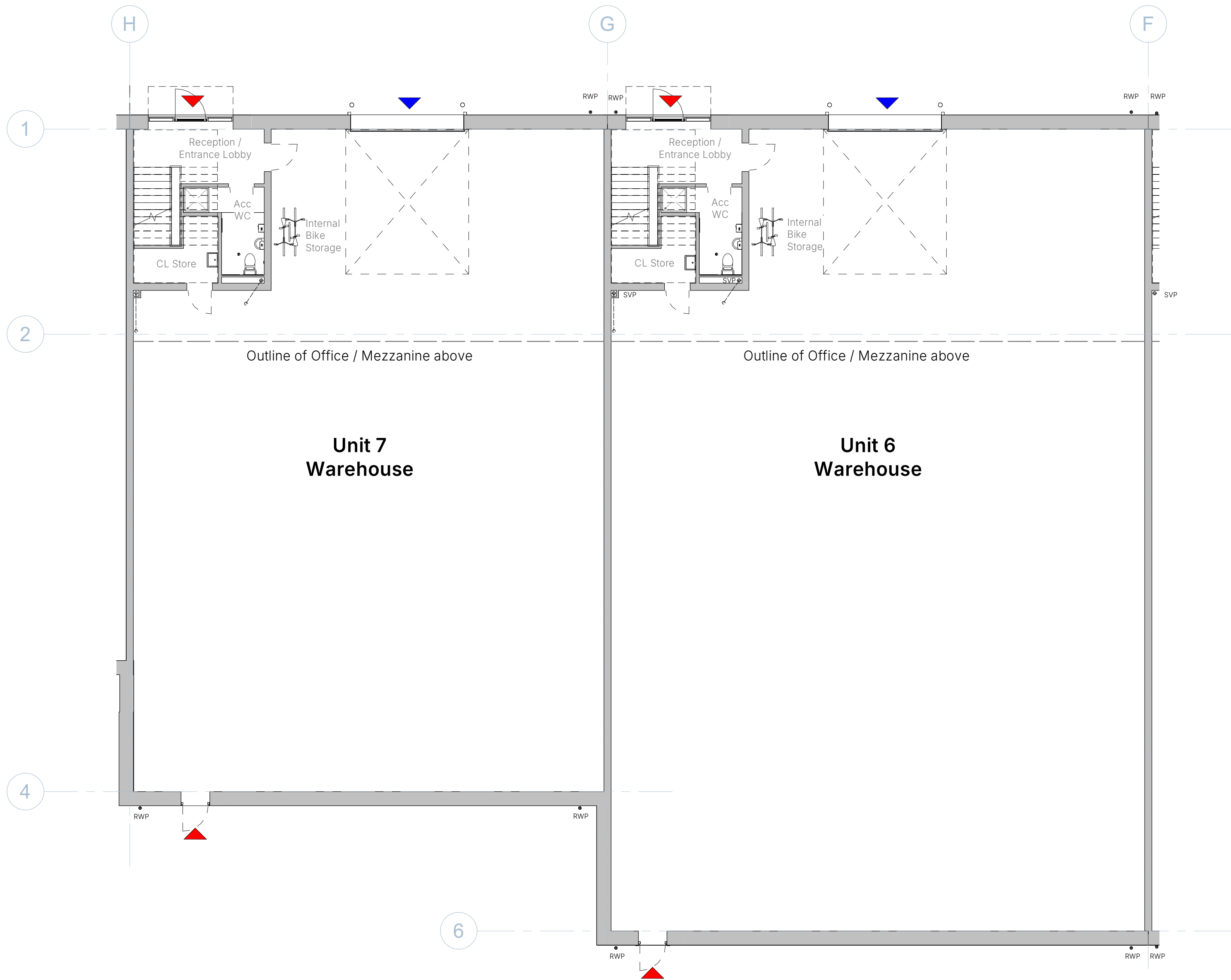
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Proposed First Floor Mezzanine - Units 6 & 7  
1 : 100



Proposed Ground Floor - Units 6 & 7  
1 : 100

P05	PLANNING ISSUE - Revised Scheme	TJ	LT	07/06/2024
P04	PLANNING ISSUE	LT	SD	26/04/2024
P03	Updated Issue	CS	LT	17/04/2024
P02	Draft Issue	LT	SD	28/03/2024
P01	First Issue	CS	LT	13/03/2024
Rev	Amendments	By	Chkd	Date



Document Status  
**Preliminary**

Client Name  
Sopers Lane Development LLP

Project Name  
Sopers Lane, Poole

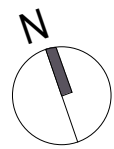
Scale	HNW Project No.	Date Created
A1 - 1 : 100	23023	Mar 2024

Document Title  
Units 6 & 7 - Proposed Ground & First Floor Plans

Document Reference	Revision
23023-HNW-U2-ZZ-DR-A-2205	P05

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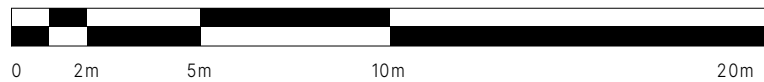
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1:200@A1



**Proposed Roof Plan**

1: 200

P06	PLANNING ISSUE - Revised Colours	TJ	LT	12/06/2024
P05	TV Issue	TJ	LT	05/05/2024
P04	PLANNING ISSUE	TJ	LT	26/04/2024
P03	Roof form updated	LT	SD	12/04/2024
P02	Draft Issue	LT	SD	28/03/2024
P01	First Issue	CS	LT	13/03/2024
Rev	Amendments	By	Chkd	Date



**Document Status**

**Planning**

**Client Name**

Sopers Lane Development LLP

**Project Name**

Sopers Lane, Poole

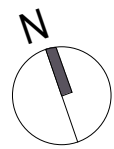
Scale	HNW Project No.	Date Created
A1 - 1: 200	23023	Mar 2024

**Document Title**

Unit 1 - Proposed Roof Plan

Document Reference	Revision
23023-HNW-U1-ZZ-DR-A-2202	P06
Chichester	61 North Street, Chichester, PO19 1NB
Brighton & Hove	Plattf9m, Church Road, Hove, BN3 2AF





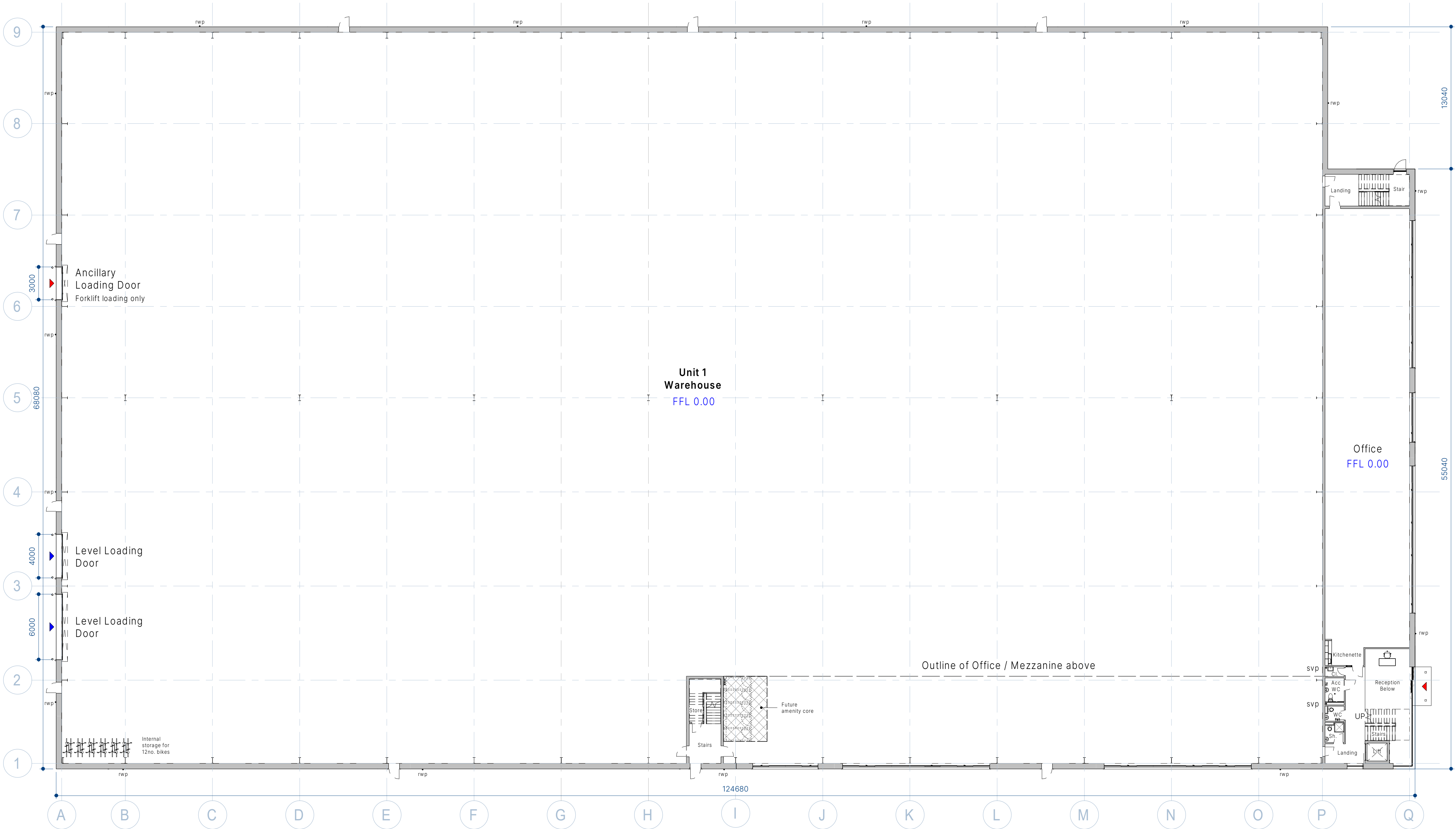
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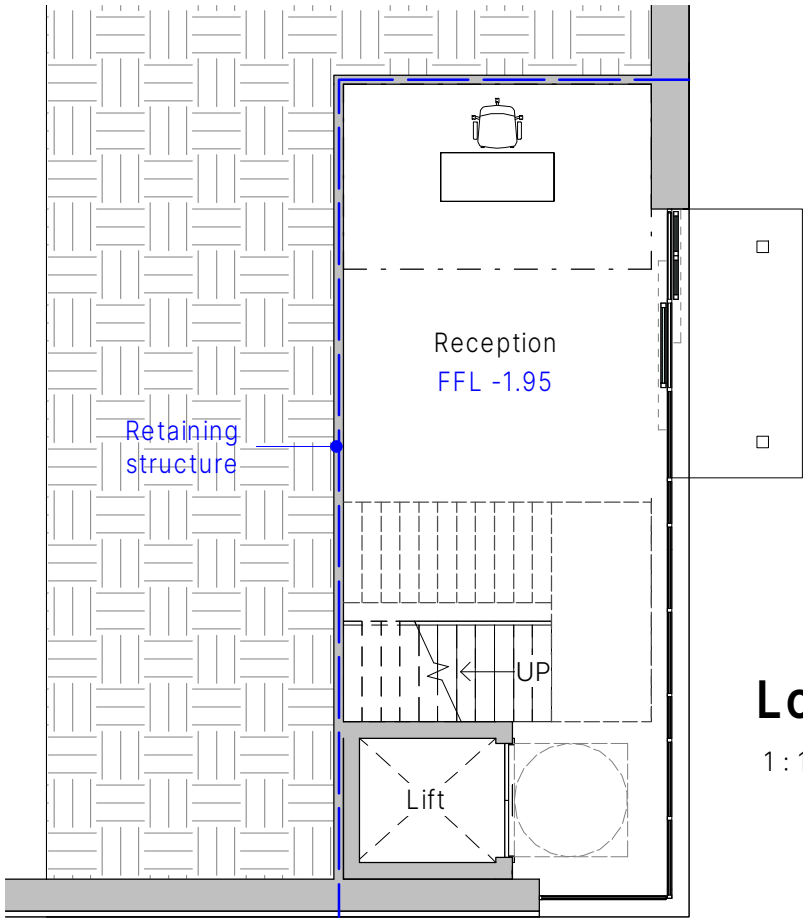
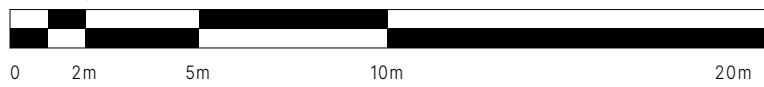
**Note: Coordination**

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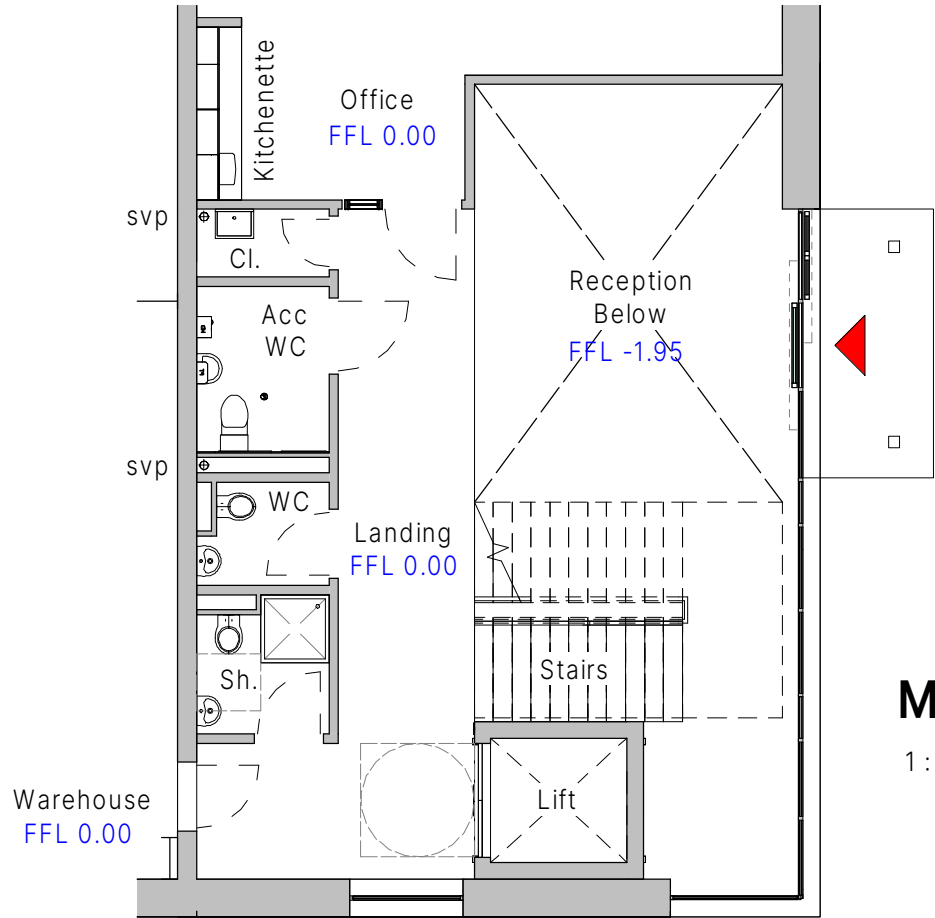
**Proposed Ground Floor**

1:200@A1



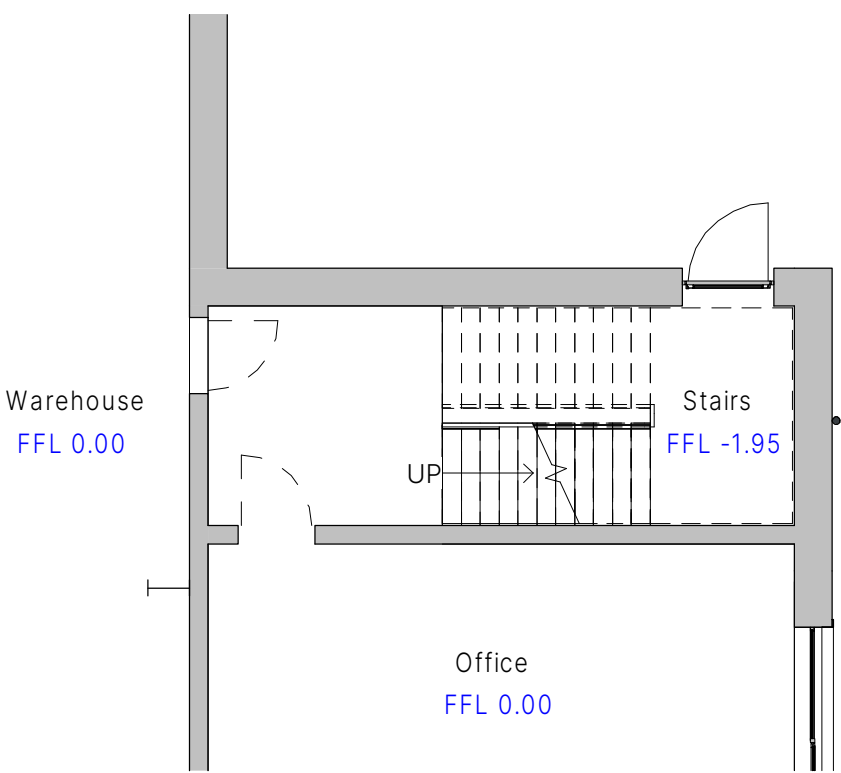
**Lower Ground Floor**

1:100



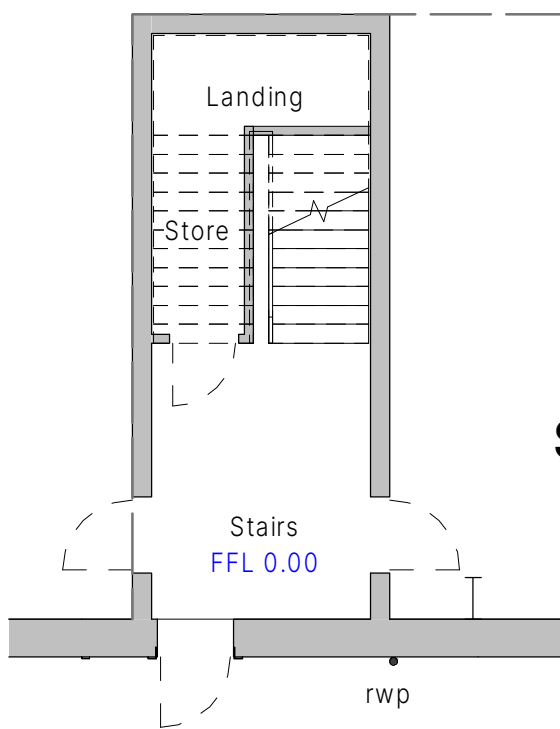
**Main Core**

1:100



**Secondary Office Core**

1:100



**Secondary Stair Core**

1:100

P07	Lower Ground Added	LT	SJL	03/07/2024
P06	TV Issue	TJ	LT	05/05/2024
P05	Dimensions Added	LT	SD	02/05/2024
P04	PLANNING ISSUE	TJ	LT	26/04/2024
P03	Draft Issue	LT	SD	28/03/2024
P02	FFLs Revised	LT	SD	26/03/2024
P01	First Issue	CS	LT	13/03/2024
Rev	Amendments	By	Chkd	Date



**Document Status**

**Planning**

**Client Name**

Sopers Lane Development LLP

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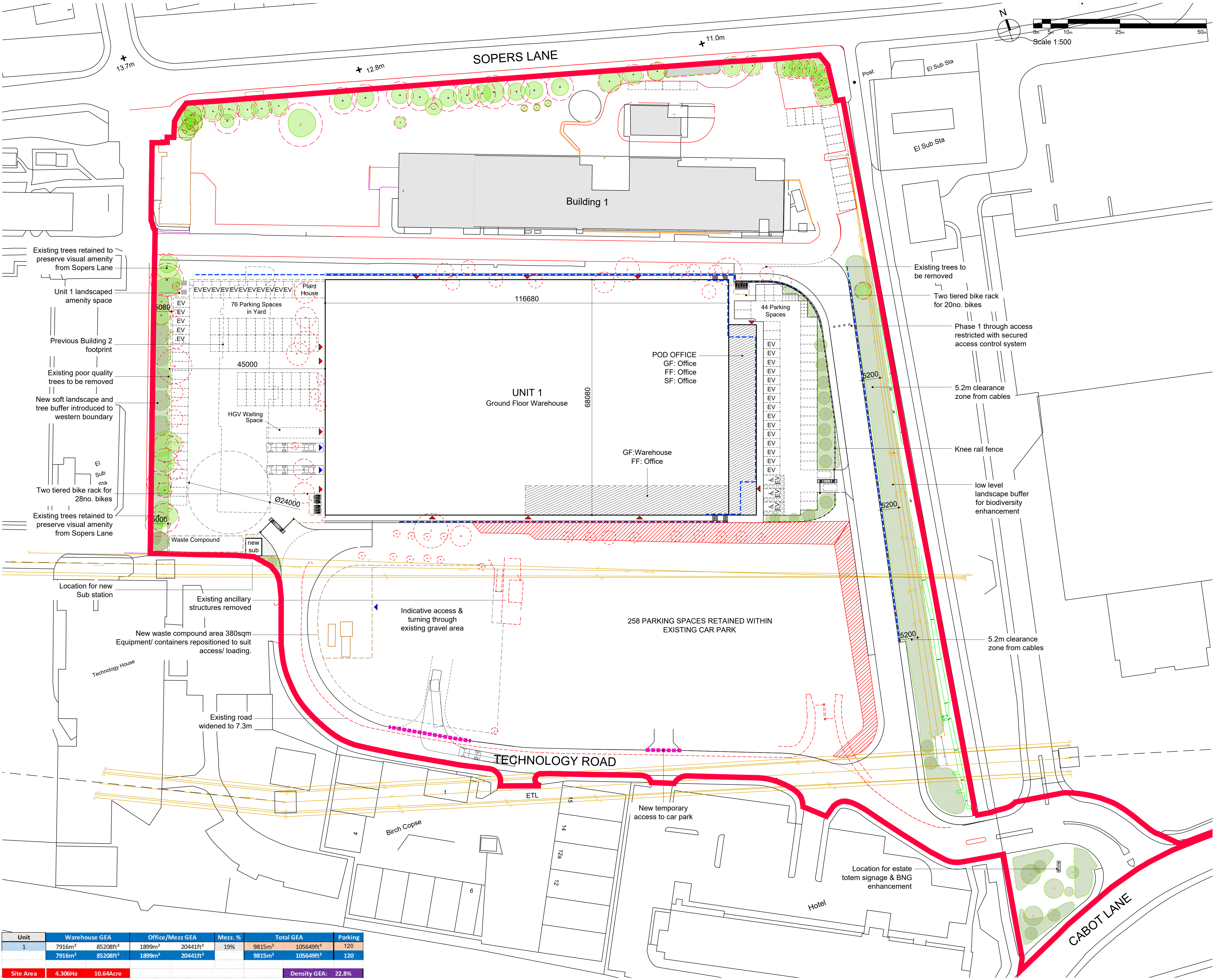
Scale	HNW Project No.	Date Created
A1 - As indicated	23023	Jan 2024

Document Title	Unit 1 - Proposed Ground Floor Plan
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Document Reference	Revision
23023-HNW-U1-ZZ-DR-A-2200	P07

Chichester	61 North Street, Chichester, PO19 1NB	01243 533300
Brighton & Hove	Plattf9m, Church Road, Hove, BN3 2AF	01273 932485





Unit	Warehouse GEA		Office/Mezz GEA		Mezz. %	Total GEA		Parking
1	7916m <sup>2</sup>	85208ft <sup>2</sup>	1899m <sup>2</sup>	20441ft <sup>2</sup>	19%	9815m <sup>2</sup>	105649ft <sup>2</sup>	120
	7916m <sup>2</sup>	85208ft <sup>2</sup>	1899m <sup>2</sup>	20441ft <sup>2</sup>		9815m <sup>2</sup>	105649ft <sup>2</sup>	120
Site Area	4.306Ha	10.64Acre				Density GEA:	22.8%	

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**Note:**  
Setting Out is based on survey drawing by: Greenhatch  
Ref: LF4646.LAF\_XX-ST\_DR\_G-1001\_S2\_REV3-GH  
Dated: 08/12/23

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Key	
<span style="color: red;">—</span>	4.306 ha / 10.64 Acres Site Area
<span style="color: blue;">---</span>	Indicative retaining structure to have guarding hand rails affixed to the top of wall
<span style="color: orange;">---</span>	Overhead cable wire and assumed no-build zone

P08	PLANNING ISSUE - Scheme amendments	LT	SD	12.06.24
P07	Minor Amendments	AG	SD	11.06.24
P06	Scheme amendments	LT	SD	05.06.24
P05	Scheme amendments	LT	SD	04.06.24
P04	PLANNING ISSUE	LT	SD	26.04.24
P03	General Updates	LT	SD	11.04.24
P02	Eastern Access Reintroduced	LT	SD	04.01.24
P01	First Issue	LT	SD	15.12.23

Rev	Amendments	By	Chkd	Date
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Document Status  
**Preliminary**

Client Name  
Sopers Lane Development LLP

Project Name  
Sopers Lane, poole  
Industrial Development

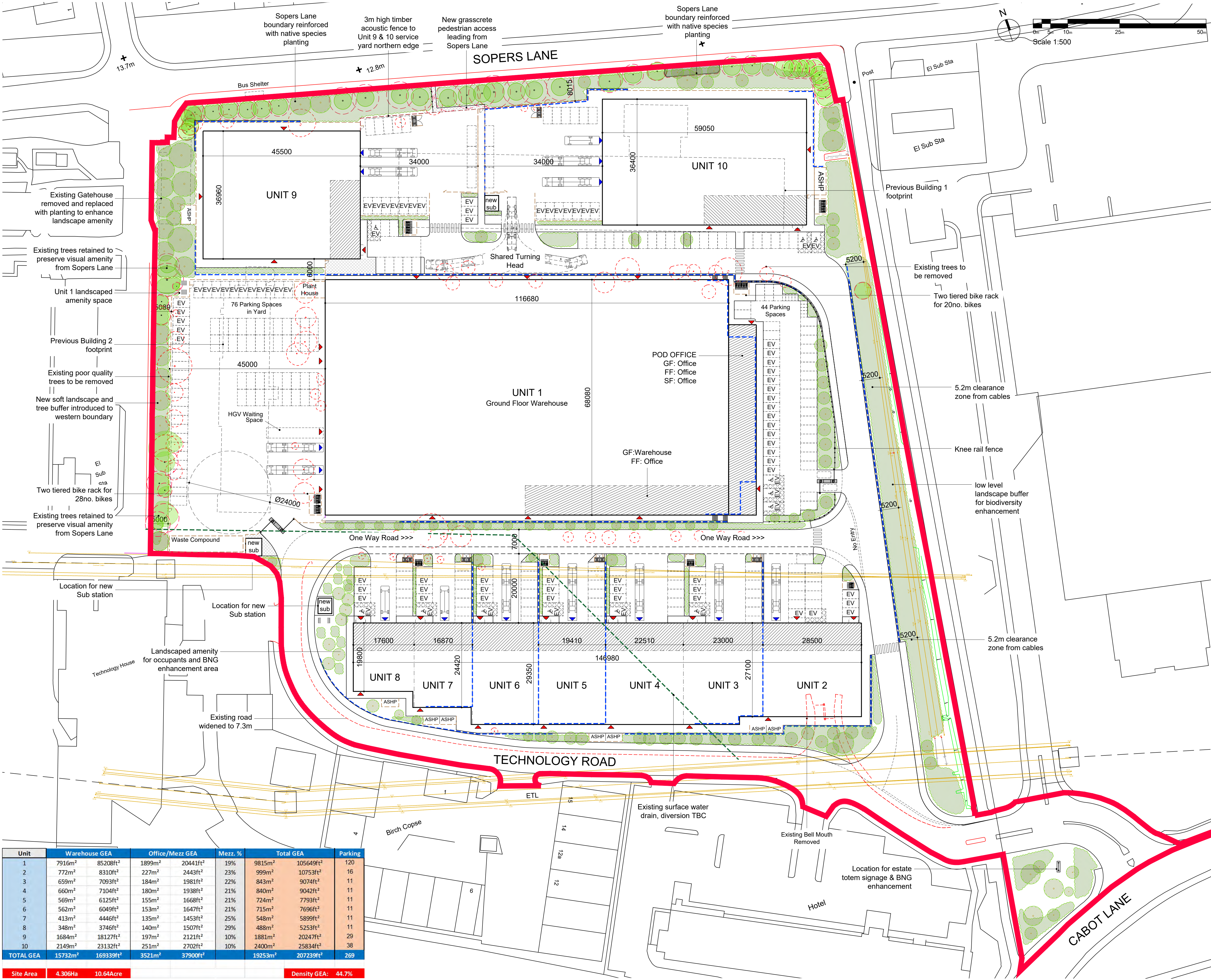
Scale	HNW Project No.	Date Created
A1- 500	23023	DEC 2023

Document Title  
Proposed Site Plan  
Phase 1

Document Reference	Revision
23023-HNW-ZZ-ZZ-DR-A-2130	P08

Chichester	61 North Street, Chichester, PO19 1NB	01243 533300
Brighton & Hove	Platt99m, Church Road, Hove, BN3 2AF	01273 932485





Unit	Warehouse GEA		Office/Mezz GEA		Mezz. %	Total GEA		Parking
1	7916m²	85208ft²	1899m²	20441ft²	19%	9815m²	105649ft²	120
2	772m²	8310ft²	227m²	2443ft²	23%	999m²	10753ft²	16
3	659m²	7093ft²	184m²	1981ft²	22%	843m²	9074ft²	11
4	660m²	7104ft²	180m²	1938ft²	21%	840m²	9042ft²	11
5	569m²	6125ft²	155m²	1668ft²	21%	724m²	7793ft²	11
6	562m²	6049ft²	153m²	1647ft²	21%	715m²	7696ft²	11
7	413m²	4446ft²	135m²	1453ft²	25%	548m²	5899ft²	11
8	348m²	3746ft²	140m²	1507ft²	29%	488m²	5253ft²	11
9	1684m²	18127ft²	197m²	2121ft²	10%	1881m²	20247ft²	29
10	2149m²	23132ft²	251m²	2702ft²	10%	2400m²	25834ft²	38
TOTAL GEA	15732m²	169339ft²	3521m²	37900ft²		19253m²	207239ft²	269

Site Area	4.306Ha	10.64Acre	Density GEA:	44.7%
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**Note:**  
Setting Out is based on survey drawing by: Greenhatch  
Ref: LF4646\_LAF\_XX\_ST\_DR\_G\_1001\_S2\_REV3-GH  
Dated: 08/12/23

**Note: Coordination**  
This drawing is subject to further coordination and should be read in conjunction with all relevant Architectural, Consultant and Specialist information.

**Note: Design Intent**  
This drawing illustrates design intent only and is subject to Manufacturer's and or Specialist Subcontractor's Detailed Design & Specification.

- Key**
- 4.306 ha / 10.64 Acres Site Area
  - Indicative retaining structure to have guarding hand rails affixed to the top of wall
  - Overhead cable wire and assumed no-build zone

P11	PLANNING ISSUE - Scheme amendments	LT	SD	24.06.24
P10	Scheme amendments	LT	SD	12.06.24
P09	Scheme amendments	LT	SD	07.06.24
P08	Scheme amendments	LT	SD	06.06.24
P07	Scheme amendments	LT	SD	04.06.24
P06	PLANNING ISSUE	LT	SD	26.04.24
P05	General Updates	LT	SD	11.04.24
P04	General Updates	LT	SD	20.03.24
P03	General Updates	LT	SD	08.03.24
P02	Eastern Access Reintroduced	LT	SD	04.01.24
P01	First Issue	LT	SD	15.12.23

Rev	Amendments	By	Chkd	Date
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Document Status  
**Preliminary**

Client Name  
P11

Project Name  
Sopers Lane, Poole  
Industrial Development

Scale  
A1-500

HNW Project No.  
23023

Date Created  
DEC 23

Document Title  
Proposed Site Plan  
Phase 2

Document Reference  
23023-HNW-ZZ-ZZ-DR-A-2131

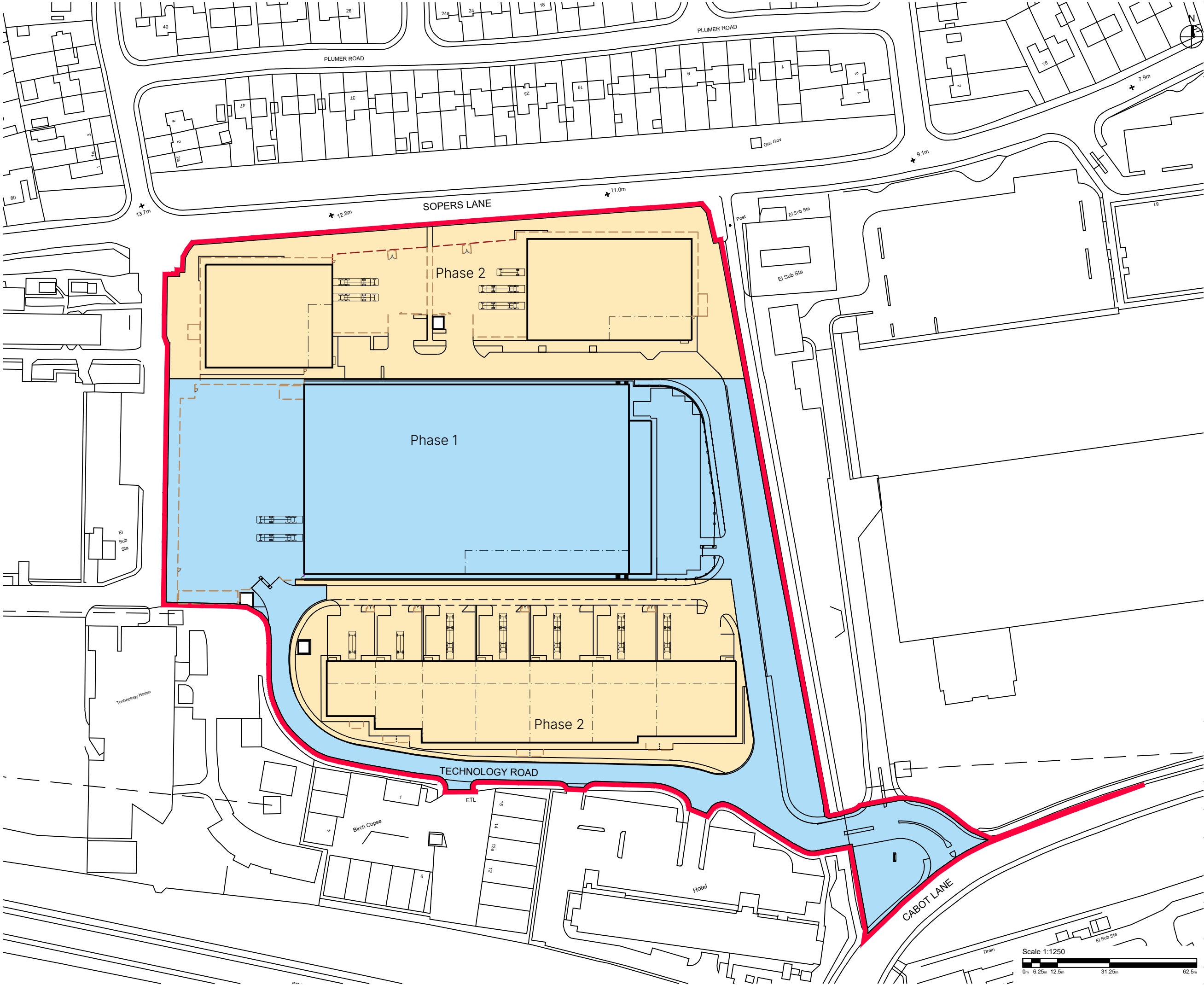
Revision  
P11

Chichester  
Brighton & Hove

61 North Street, Chichester, PO19 1NB  
Plattform, Church Road, Hove, BN3 2AF

01243 533300  
01273 932485





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- Key**
- Proposed Application Boundary
  - Phase 1
  - Phase 2

P02	Transposed to Proposed Site Plan	SJL	SD	29/11/24
P01	First Issue	SJL	SD	29/11/24
Rev	Amendments	By	Chkd	Date



Document Status  
**Preliminary**

Client Name  
Sopers Lane Development LLP

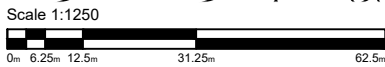
Project Name  
Sopers Lane, Poole  
Industrial Development

Scale	HNW Project No.	Date Created
A3-1250	23023	NOV 24

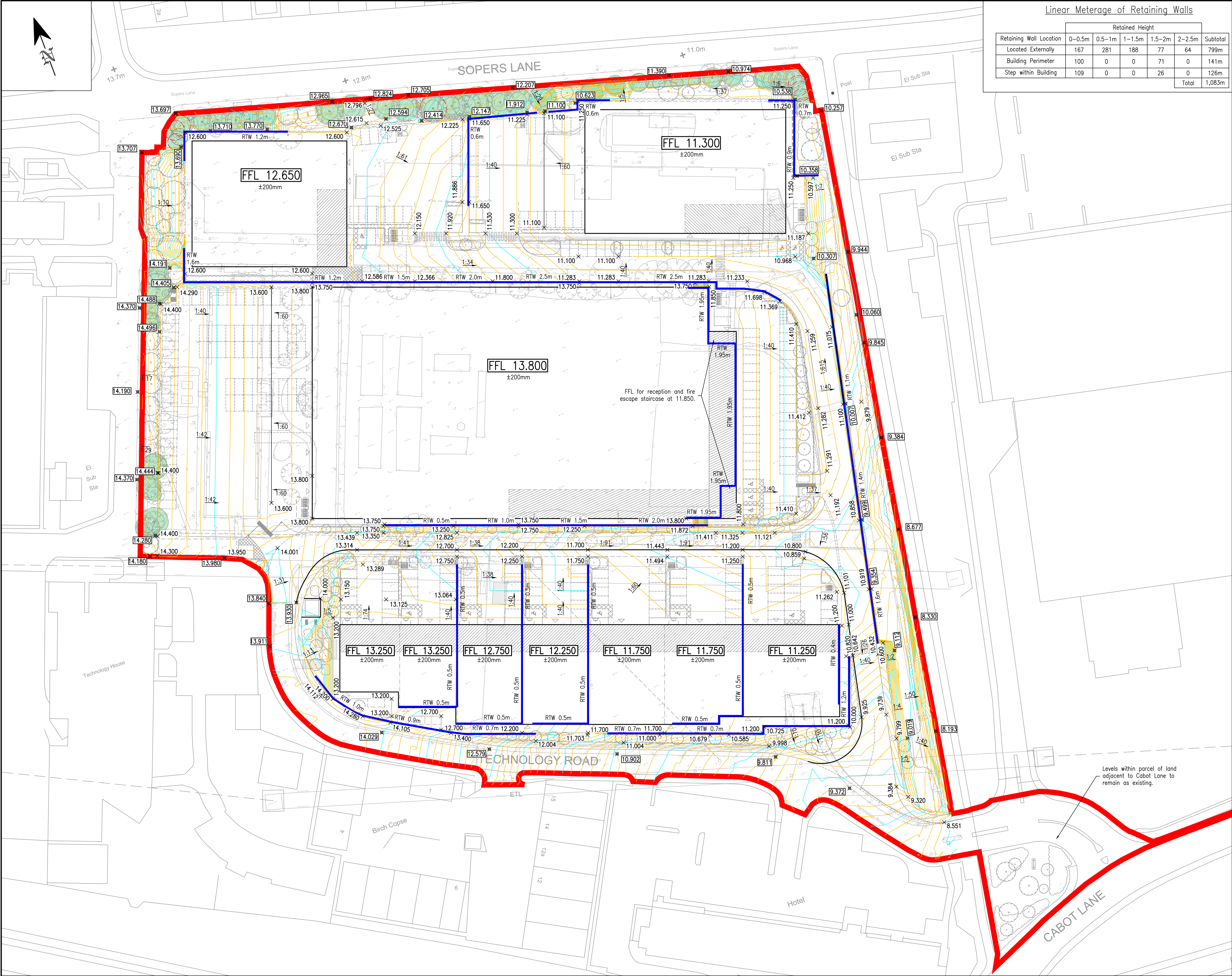
Document Title  
Phase Block Plan

Document Reference	Revision
23023-HNW-ZZ-ZZ-DR-A-1005	P02

Chichester	61 North Street, Chichester, PO19 1NB	01243 533300
Brighton & Hove	Platt9rm, Church Road, Hove, BN3 2AF	01273 932485







Linear Meterage of Retaining Walls						
Retaining Wall Location	Retained Height					Subtotal
	0-0.5m	0.5-1m	1-1.5m	1.5-2m	2-2.5m	
Located Externally	167	281	188	77	64	799m
Building Perimeter	100	0	0	71	0	141m
Step within Building	109	0	0	26	0	126m
Total						1,083m

- Notes:
- Do not scale from this drawing.
  - In case of any discrepancies in drawings, details or bills, refer to engineers for clarification: unilateral decisions by the Contractor will not be accepted.
  - This drawing is to be read in conjunction with all related Architects, Consultants & Sub-Contractors drawings and specifications.
  - The Contractor is advised that all design drawings and information are to be read concurrently and any discrepancies or omissions reported directly to PTA's Civil Engineering Department.

Key:

- Site Boundary
- FFL 60.000 Finished Floor Level (mAOD)
- Existing Ground Level (mAOD)
- Proposed Ground Level (mAOD)
- Proposed Gradient
- Retaining Wall
- Proposed Minor and Major Contours 0.1 & 0.5m Intervals
- Root Protection Area - Refer to Arbo Drawings for Further info.

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DRAWING STATUS / PURPOSE OF ISSUE

PRELIMINARY COMMENT/COSTING/APPROVAL NOT FOR CONSTRUCTION

ISO 19650 STATUS CODE

S3

REV	DESCRIPTION	BY	DATE	CHKD
P08	Revised to Latest Site Layout	LB	14.06.24	SLW
P07	Revised to Latest Site Layout	TA	07.06.24	SLW
P06	Revised to Latest Site Layout	TA	06.06.24	SLW
P05	Planning Issue	TA	01.05.24	SLW
P04	Revised to Latest Site Layout	TA	16.04.24	SLW
P03	Levels Revised to Suit RPAs	TA	08.04.24	SLW
P02	Revised to Latest Site Layout	TA	28.03.24	SLW
P01	First Issue	TA	07.02.24	SLW

PROJECT TITLE

Sopers Lane, Poole

DRAWING TITLE

Proposed Levels Strategy Site Wide

DATE	Feb. 2024	This drawing is issued only for the purposes described in the drawing status box.	PTA PROJ No	10017
DRAWN	TA		REVISION	P08
SCALE	1:500			
DRG SIZE	A1			

DRAWING No

10017-PTA-XX-XX-DR-C-8300

Consulting Civil & Structural Engineers

pta

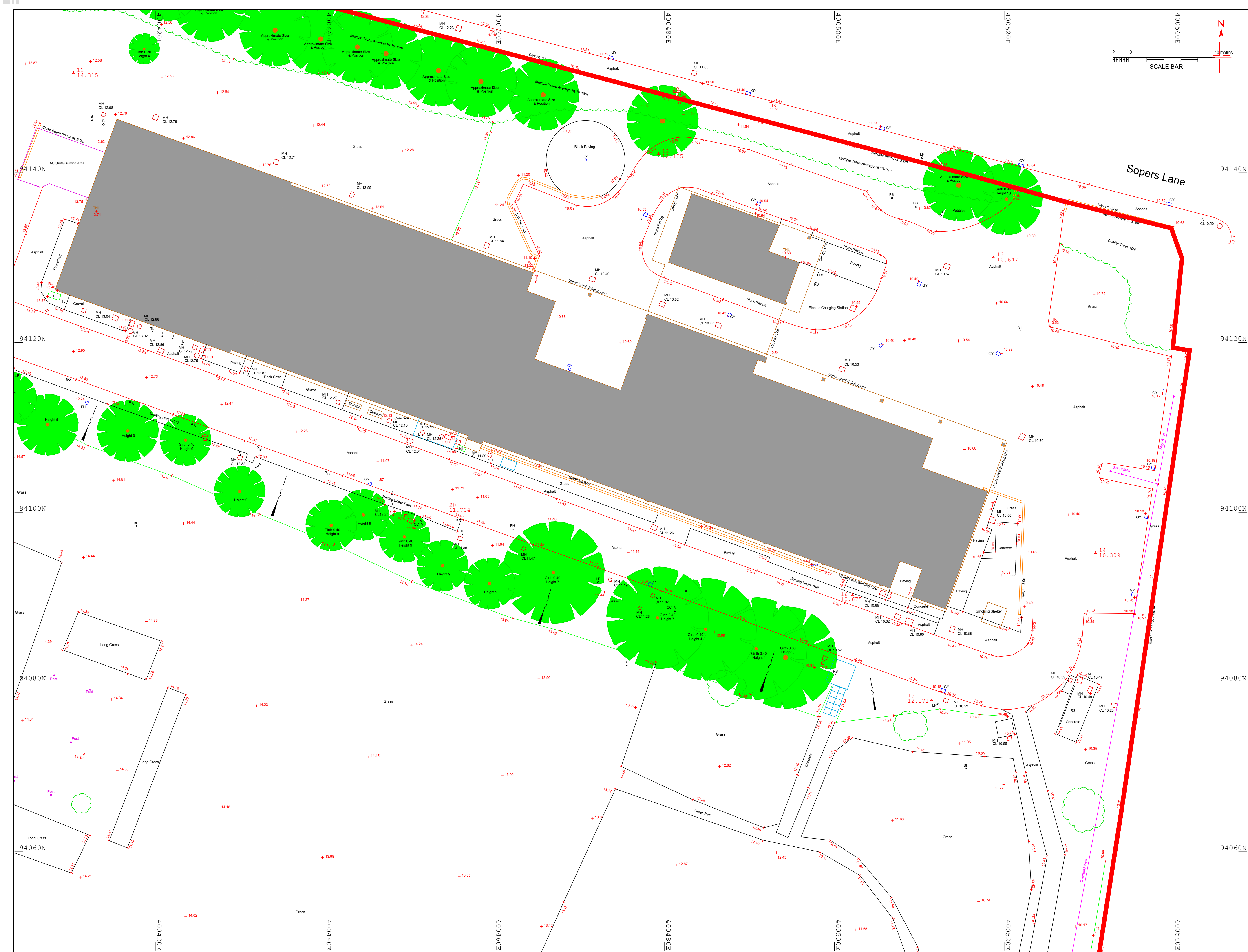
29 Red Lion Street, Chesham, Bucks, HP5 1EJ, Tel. 01494 772721

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## NOTES

Overhead cables located 30.05.23 with a recorded temperature of 20°C.

R2	30.05.23	PS	IGH17124	Overhead cables located by Greenhatch					
X0	12.34.56	XX	XX	XX	XX	XXXXXX			
Rev	Date	By	Chk	Apr	Comment				



### The Independent Measurement Choice

<b>SIDCUP OFFICE</b>	Irene House Five Arches Business Park Maidstone Road Sidcup, Kent DA14 5AE T: 020 8309 7777	<b>OXFORD OFFICE</b>	Citibase Oxford New Barclay House 234 Botley Road Oxford OX2 0HP T: 01865 322500
<b>LONDON OFFICE</b>	Third Floor Baird House 15-17 St Cross Street London EC1N 8UW T: 020 7651 0790	<b>STEVENAGE OFFICE</b>	Suite 237, Second Floor Kings Court Business Centre London Road, Stevenage Hertfordshire SG1 2NG T: 020 3714 7063

Client:

Seimens

Project Title:

Seimans  
Sopers Lane  
Poole, Dorset

Drawing Title:

Drawing Title

Status

RECORD

Drawn By: CL	Designed By: CL	Checked By: LMS	Approved By: NC
Original Issue Date: 23/01/23		Scale @ A1: 1:200	

Job No/ File Ref		Originator	Zone	Level
LF4646		LAF	XX	ST
Type	Discipline	Number	Suitability	Revision
DR	G	1002	S2	R2









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ACCORDINGLY.

## NOTES

Overhead cables located 30.05.23 with a recorded temperature of 20°C.

R2	30.05.23	PS	GHI7124			Overhead cables located by Greenhatch
X0	12.34.56	XX	XX	XX	XX	XXXXXXXX
Rev	Date	By	Chk	Apr	Comment	

**Lane & Frankham**   
info@laneandfrankham.com  
www.laneandfrankham.com

### The Independent Measurement Choice

<b>SIDCUP OFFICE</b>	Irene House Five Arches Business Park Maidstone Road Sidcup, Kent DA14 5AE T: 020 8309 7777	<b>OXFORD OFFICE</b>	Citibase Oxford New Barclay House 234 Botley Road Oxford OX2 0HP T: 01865 322500
<b>LONDON OFFICE</b>	Third Floor Baird House 15-17 St Cross Street London EC1N 8UW T: 020 7651 0790	<b>STEVENAGE OFFICE</b>	Su 237, Second Floor Kings Court Business Centre London Road, Stevenage Hertfordshire SG1 2NG T:020 3714 7063

**Client:**

Seimans

Project Title:

Seimans  
Sopers Lane  
Poole, Dorset

Drawing Title:

## Topographic Survey

Status:

RECORD

Drawn By: CL	Designed By: CL	Checked By: LMS	Approved By: NC
Original Issue Date: 23/01/23		Scale @ A1: 1:200	

Job No/ File Ref		Originator	Zone	Level
LF4646		LAF	XX	ST
Type	Discipline	Number	Suitability	Revision
DR	G	1004	S2	R2





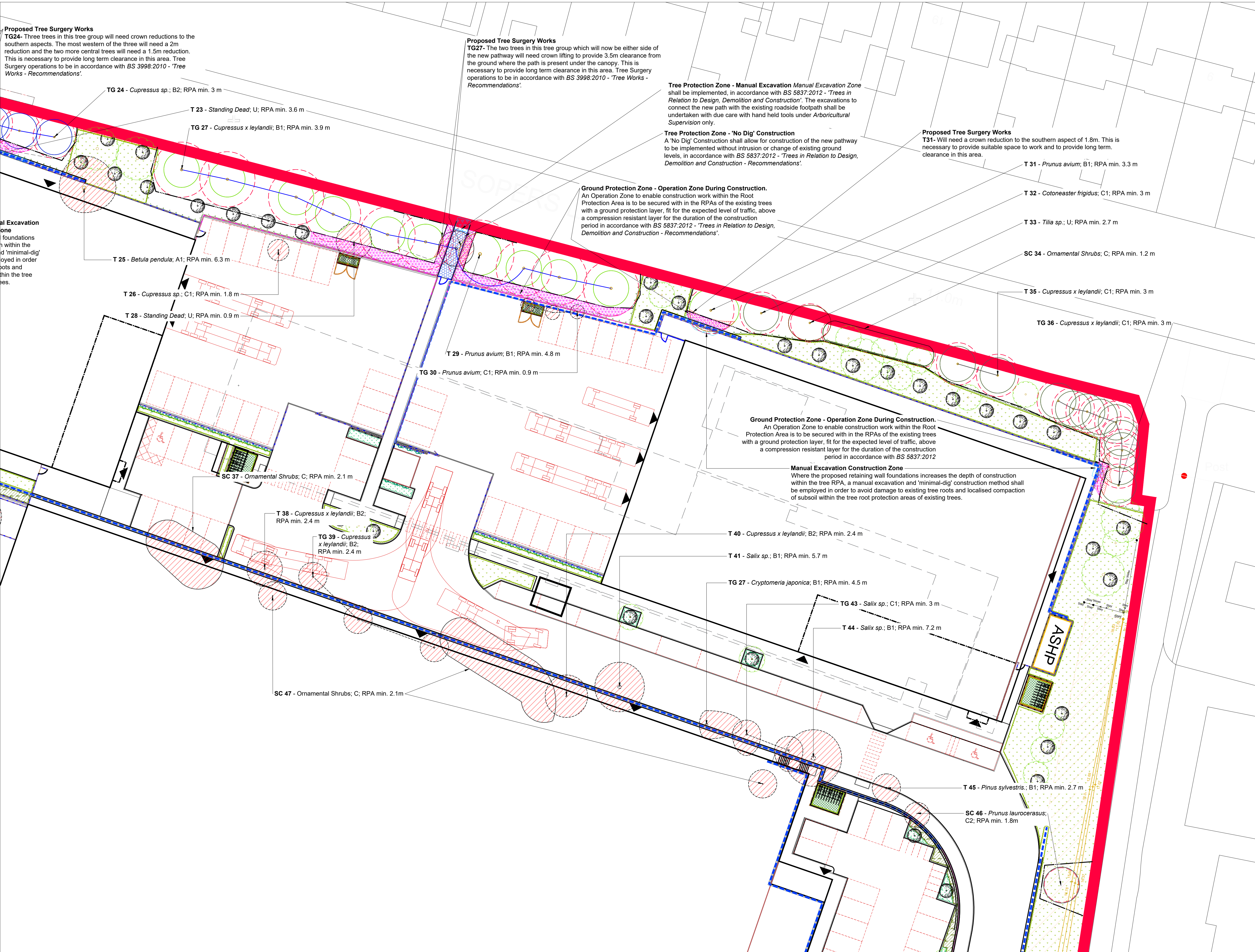
PLEASE CONSULT THE AUTHOR OR PROJECT MANAGER





<i>Client</i> <b>Sopers Lane Development LLP</b>			
<i>Project Title and Location</i> <b>Sopers Lane</b>			
<b>Sopers Lane, Poole, Dorset</b>			
<i>Drawing Title</i> <b>Tree Retention and Protection Plan</b>			
<i>Scale</i> <b>1:250@A1</b>	<i>Drawn</i> <b>GO</b>	<i>Approved</i> <b>RM</b>	<i>Date</i> <b>15.04.24</b>
<i>Drawing No</i> <b>LLD3134-ARB-DWG-020</b>			<i>Revision</i> <b>04</b>





**Legend**

**Tree and Shrub Numbers.**

**Tree Root Protection Areas**  
Tree Root Protection Areas calculated and specified in accordance with BS 5837:2012 - 'Trees in Relation to Design, Demolition and Construction - Recommendations'.

**Category A Trees**  
Trees of High Quality and Value to be Retained.

**Category B Trees**  
Trees of Moderate Quality and Value to be Retained.

**Category C Trees**  
Trees of Low Quality and Value to be Retained.

**Category U Trees**  
Trees unsuitable for retention.

**Existing Shrub Vegetation**

**Tree Protection Barrier**  
All Tree Protection and Tree Protection Barriers to be in accordance with BS 5837:2012 - 'Trees in Relation to Design, Demolition and Construction - Recommendations'.  
Tree Protective Barrier to be 2.0 metres height.  
'Heras' Welded Wire Mesh Fencing secured to a scaffolding framework, set into the existing ground, and positioned to the outside edge of the existing Tree Root Protection Area, or as specified.

**Existing Trees to be Removed**  
Tree Surgery operations to be in accordance with BS3998:2010 - 'Tree Works - Recommendations'.

**Existing Shrubs and Hedges to be Removed**

**Proposed Tree Surgery Works**  
Existing trees to have crown reduced prior to protection measures being implemented.  
Tree Surgery operations to be in accordance with BS 3998:2010 - 'Tree Works - Recommendations'.

**Tree Protection Zone - 'No Dig' Construction**  
A 'No Dig' Construction shall allow for construction to be implemented without intrusion or change of existing ground levels, in accordance with BS 5837:2012 - 'Trees in Relation to Design, Demolition and Construction - Recommendations'.

**Ground Protection Zone - Operation Zone During Construction.**  
An Operation Zone to enable construction work within the Root Protection Area is to be secured beneath the canopy of the existing trees with a ground protection layer, fit for the expected level of traffic, above a compression resistant layer for the duration of the construction period in accordance with BS 5837:2012 - 'Trees in Relation to Design, Demolition and Construction - Recommendations'.

**Tree Protection Zone - Manual Excavation / Demolition**  
Limited Manual Excavation / Demolition Zone shall be implemented, in accordance with BS 5837:2012 - 'Trees in Relation to Design, Demolition and Construction - Recommendations'. The excavation prior to construction of retaining walls, and the demolition of existing building shall be undertaken with due care with hand held tools under Arboricultural Supervision only.

**Notes:**

1. Drawing to be read in colour.

2. For details of existing trees and vegetation refer to: LLD3134-ARB-SCH-001 - Existing Tree Schedule;

3. For assessment of effects of the proposed development on existing trees refer to LLD3134-ARB-REP-001- Arboricultural Impact Assessment and Method Statement.

## PLANNING ISSUE

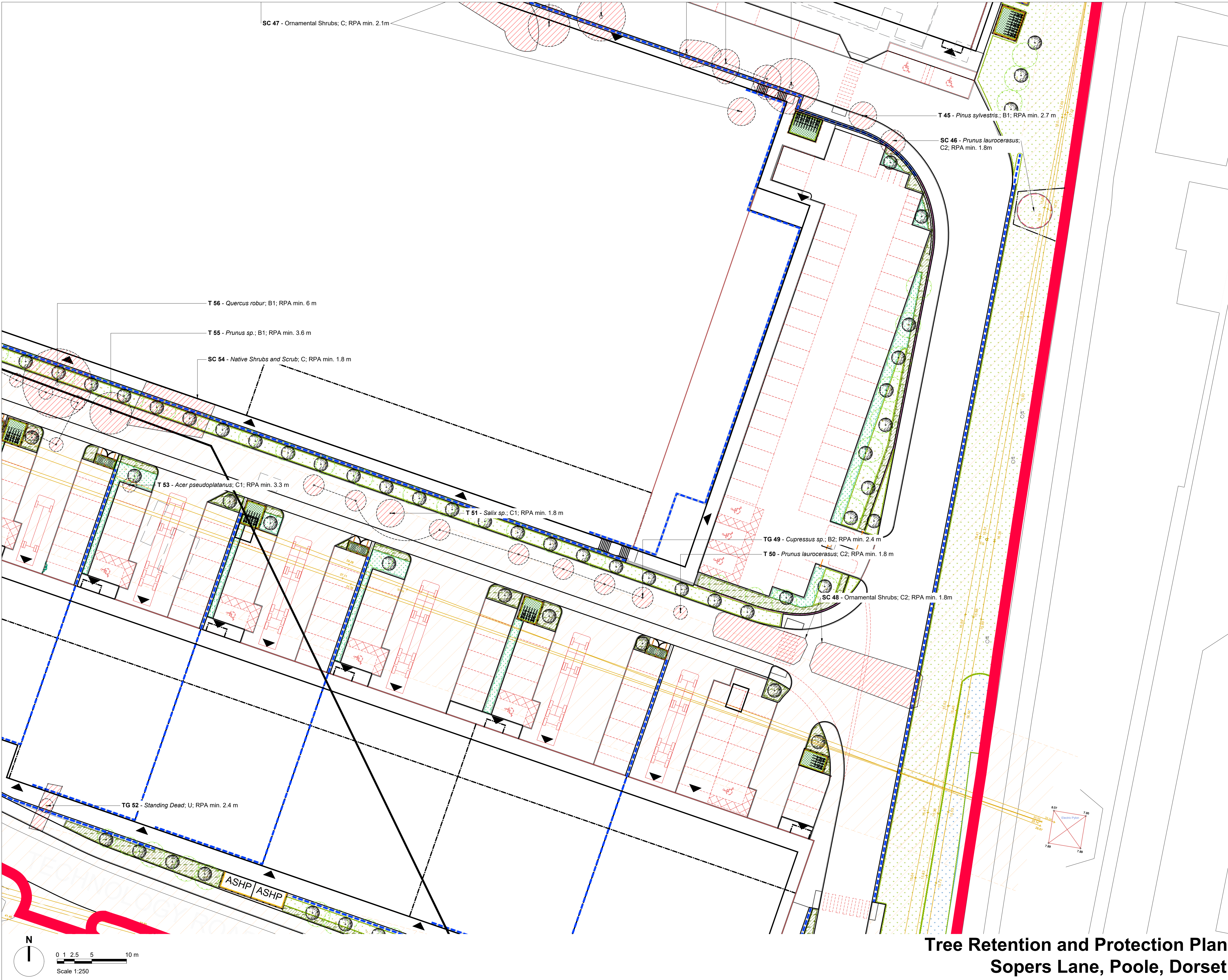
Rev	Description	Date	Initials
04	Planning Issue	12.11.24	GO
03	Planning Issue	13.06.24	GO
02	Planning Issue	07.06.24	GO
01	Planning Issue	10.05.24	GO
01	Draft Issue	03.05.24	GL
00	Draft Issue	15.04.24	GL

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The Old Bank, 34 South Street, Tarring, Worthing, West Sussex, BN14 7LH  
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<b>Client</b> Sopers Lane Development LLP <b>Project Title and Location</b> Sopers Lane Sopers Lane, Poole, Dorset	<b>Drawing Title</b> Tree Retention and Protection Plan
<b>Scale</b> 1:250@A1	<b>Drawn</b> GL
<b>Approved</b> KM	<b>Date</b> 15.04.24
<b>Drawing No</b> LLD3134-ARB-DWG-021	<b>Revision</b> 03

## Tree Retention and Protection Plan Sopers Lane, Poole, Dorset





## Legend

- Tree and Shrub Numbers.**
- Tree Root Protection Areas**  
Tree Root Protection Areas calculated and specified in accordance with BS 5837:2012 - 'Trees in Relation to Design, Demolition and Construction - Recommendations'.
- Category A Trees**  
Trees of High Quality and Value to be Retained.
- Category B Trees**  
Trees of Moderate Quality and Value to be Retained.
- Category C Trees**  
Trees of Low Quality and Value to be Retained.
- Category U Trees**  
Trees unsuitable for retention.
- Existing Shrub Vegetation**
- Tree Protection Barrier**  
All Tree Protection and Tree Protection Barriers to be in accordance with BS 5837:2012 - 'Trees in Relation to Design, Demolition and Construction - Recommendations'.  
Tree Protective Barrier to be 2.0 metres height 'Heras' Welded Wire Mesh Fencing secured to a scaffolding framework, set into the existing ground, and positioned to the outside edge of the existing Tree Root Protection Area, or as specified.
- Existing Trees to be Removed**  
Tree Surgery operations to be in accordance with BS3998:2010 - 'Tree Works - Recommendations'.
- Existing Shrubs and Hedges to be Removed**
- Proposed Tree Surgery Works**  
Existing trees to have crown reduced prior to protection measures being implemented.  
Tree Surgery operations to be in accordance with BS 3998:2010 - 'Tree Works - Recommendations'.
- Tree Protection Zone - 'No Dig' Construction**  
A 'No Dig' Construction shall allow for construction to be implemented without intrusion or change of existing ground levels, in accordance with BS 5837:2012 - 'Trees in Relation to Design, Demolition and Construction - Recommendations'.
- Ground Protection Zone - Operation Zone During Construction.**  
An Operation Zone to enable construction work within the Root Protection Area is to be secured beneath the canopy of the existing trees with a ground protection layer, fit for the expected level of traffic, above a compression resistant layer for the duration of the construction period in accordance with BS 5837:2012 - 'Trees in Relation to Design, Demolition and Construction - Recommendations'.
- Tree Protection Zone - Manual Excavation / Demolition**  
Limited Manual Excavation / Demolition Zone shall be implemented, in accordance with BS 5837:2012 - 'Trees in Relation to Design, Demolition and Construction - Recommendations'. The excavation prior to construction of retaining walls, and the demolition of existing building shall be undertaken with due care with hand held tools under Arboricultural Supervision only.
- Notes:**
- Drawing to be read in colour.
  - For details of existing trees and vegetation refer to: LLD3134-ARB-SCH-001 - Existing Tree Schedule;
  - For assessment of effects of the proposed development on existing trees refer to LLD3134-ARB-REP-001- Arboricultural Impact Assessment and Method Statement.

## PLANNING ISSUE

Rev	Description	Date	Initials
04	Planning Issue	12.11.24	GO
03	Planning Issue	13.06.24	GO
02	Planning Issue	07.06.24	GO
01	Planning Issue	10.05.24	GO
01	Draft Issue	03.05.24	GL
00	Draft Issue	15.04.24	GL

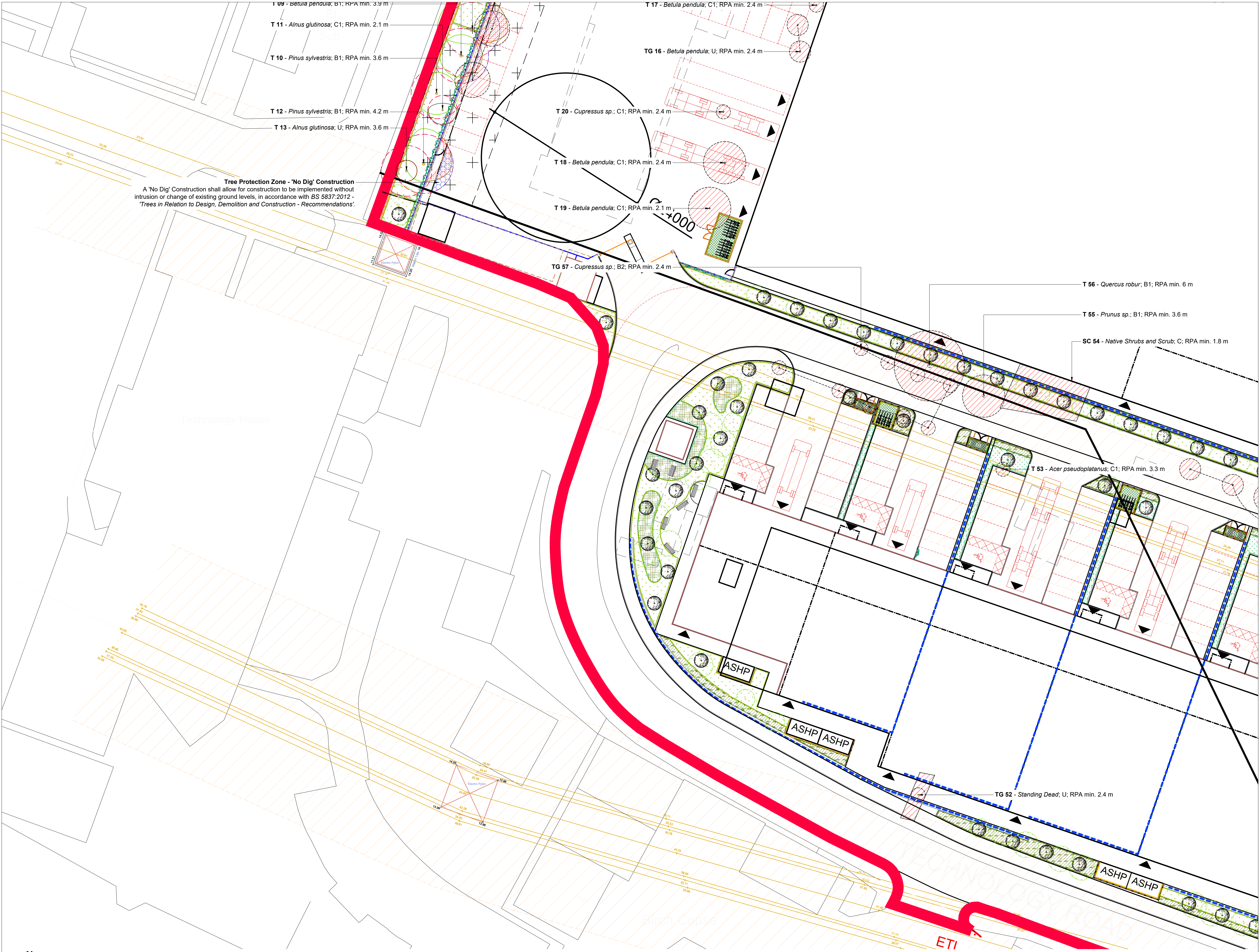
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Client Sopers Lane Development LLP Project Title and Location <b>Sopers Lane</b> Sopers Lane, Poole, Dorset	Drawing Title <b>Tree Retention and Protection Plan</b>
Scale 1:250@A1	Drawn GL
Approved KM	Date 15.04.24
Drawing No LLD3134-ARB-DWG-022	Revision 03

## Tree Retention and Protection Plan Sopers Lane, Poole, Dorset





**Legend**

T02

Tree and Shrub Numbers.

Tree Root Protection Areas

Tree Root Protection Areas calculated and specified in accordance with BS 5837:2012 - 'Trees in Relation to Design, Demolition and Construction - Recommendations'.

Category A Trees

Trees of High Quality and Value to be Retained.

Category B Trees

Trees of Moderate Quality and Value to be Retained.

Category C Trees

Trees of Low Quality and Value to be Retained.

Category U Trees

Trees unsuitable for retention.

Existing Shrub Vegetation

Tree Protection Barrier

All Tree Protection and Tree Protection Barriers to be in accordance with BS 5837:2012 - 'Trees in Relation to Design, Demolition and Construction - Recommendations'.

Tree Protective Barrier to be 2.0 metres height 'Heras' Welded Wire Mesh Fencing secured to a scaffolding framework, set into the existing ground, and positioned to the outside edge of the existing Tree Root Protection Area, or as specified.

Existing Trees to be Removed

Tree Surgery operations to be in accordance with BS3998:2010 - 'Tree Works - Recommendations'.

Existing Shrubs and Hedges to be Removed

Proposed Tree Surgery Works

Existing trees to have crown reduced prior to protection measures being implemented.

Tree Surgery operations to be in accordance with BS 3998:2010 - 'Tree Works - Recommendations'.

Tree Protection Zone - 'No Dig' Construction

A 'No Dig' Construction shall allow for construction to be implemented without intrusion or change of existing ground levels, in accordance with BS 5837:2012 - 'Trees in Relation to Design, Demolition and Construction - Recommendations'.

Ground Protection Zone - Operation Zone During Construction.

An Operation Zone to enable construction work within the Root Protection Area is to be secured beneath the canopy of the existing trees with a ground protection layer, fit for the expected level of traffic, above a compression resistant layer for the duration of the construction period in accordance with BS 5837:2012 - 'Trees in Relation to Design, Demolition and Construction - Recommendations'.

Tree Protection Zone - Manual Excavation / Demolition

Limited Manual Excavation / Demolition Zone shall be implemented, in accordance with BS 5837:2012 - 'Trees in Relation to Design, Demolition and Construction - Recommendations'. The excavation prior to construction of retaining walls, and the demolition of existing building shall be undertaken with due care with hand held tools under Arboricultural Supervision only.

Notes:

1. Drawing to be read in colour.

2. For details of existing trees and vegetation refer to: LLD3134-ARB-SCH-001 - Existing Tree Schedule;

3. For assessment of effects of the proposed development on existing trees refer to LLD3134-ARB-REP-001- Arboricultural Impact Assessment and Method Statement.

PLANNING ISSUE

Rev	Description	Date	Initials
04	Planning Issue	12.11.24	GO
03	Planning Issue	13.06.24	GO
02	Planning Issue	07.06.24	GO
01	Planning Issue	10.05.24	GO
01	Draft Issue	03.05.24	GL
00	Draft Issue	15.04.24	GL

**LIZARD**

Landscape Design and Ecology

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Client

Sopers Lane Development LLP

Project Title and Location

**Sopers Lane**

Sopers Lane, Poole, Dorset

Drawing Title

**Tree Retention and Protection Plan**

Scale

1:250@A1

Drawn

GL

Approved

KM

Date

15.04.24

Drawing No

LLD3134-ARB-DWG-023

Revision

03

# Tree Retention and Protection Plan

## Sopers Lane, Poole, Dorset



